

SURVEYOR'S OFFICE
Hamilton County

Kenton C. Ward, CFM
Surveyor of Hamilton County
Phone (317) 776-8495
Fax (317) 776-9628

Suite 188
One Hamilton County Square
Noblesville, Indiana 46060-2230

August 18, 2021

To: Hamilton County Drainage Board

Re: Mud Creek – Sand Creek Drainage Area, Hawthorn Hills Drain, Iron Pointe Arm

Attached are plans and petitions for the extension of an arm to and partial reconstruction of the Hawthorn Hills Drain, which is an arm of the Mud Creek – Sand Creek Drainage Area. This project is to be paid for by Pulte Development. The proposal is for the extension of a storm sewer and reconstruction of existing sub-surface drain and open drain which will serve as the outlet for the proposed Iron Pointe subdivision. This is to be constructed per project plans for the Iron Pointe, Sec.1, by Kimley-Horn, KHA Project No. 170140002, dated 05/03/2021.

Per the plans, the proposal involves installing an offsite storm sewer beginning at a manhole (MH 130) near the northwest corner of the Iron Pointe subdivision. The subdivision project site is located on the south side of 106th street, west of Fall Road, east of Mollenkopf Road in Fishers, Indiana. The route of the drain is as follows: The pipe will extend west from the site along the south side of 106th street right-of-way through existing easement on parcel 13-15-08-00-00-025.003 owned by Steven A. & Lori J. Kinder (Wilson's Subdivision, Tract 1) to the northwest corner of said parcel; then, will cross to the north side of 106th street owned by Hamilton County; then runs west parallel to 106th street on the south side of parcel 13-15-05-04-07-010.000 (Hawthorn Hills, Sec. 1 lot 110) owned by Glen R & Valentia R Jacobs; crosses parcel 13-15-05-04-03-044.000 owned by Department of Public Utilities for City of Indianapolis acting by and through Board of Directors for Utilities as Trustee of Public Charitable Trust for the Water System; then, turns north at a manhole and crosses parcel 13-15-05-04-03-043.000 owned by Michael R & Sandra A Gonzalez; then, continues north across parcel 13-15-05-04-03-042.000 (lot 17, part 18 & part 117) owned by Joseph E & Patricia G Gray (with LE & Joseph E & Patricia G Gray Family Trust), then outlets into the existing open drain in the Augusta Blvd right-of-way owned by the City of Fishers. As part of this

proposal, the existing 6" SSD located on parcel 13-15-05-04-03-042.000 (Gray) will be replaced by the proposed 12" storm sewer.

The open ditch located along the north side of parcel 13-15-05-04-03-042.000 (Gray) and parcel 13-15-05-04-07-001.000 (lot 118) owned by Jason A. Golden & Jennifer Lynn McGuire will also be regraded and erosion control measures will be installed as part of this project. Because of their proximity, other parcels potentially affected by this project include parcel 13-15-05-04-07-011.000 (Pt 117) owned by Travis J Spencer & Marcy E Trinkle; parcel 13-15-05-04-08-013.000 (Lot 127) owned by Robert J Jr & Joy C Richards; and parcel 13-15-05-04-02-010.000 (Runnymede Estates, Lot 7, Pt 11) owned by Saur, Brigitte.

The new arm will consist of the following:

1,000' of 12" RCP

The new drain involves the lengths of drain between the following structures: 130, 131, 132, 133, 141, 142, 134, and 135.

The existing 236' of 6" SSD (between ex. str 101 – 100) located on parcel 13-15-05-04-03-042.000 (Gray) and Augusta Blvd right-of-way will be removed and vacated as regulated drain. This project will add 764' to the overall length of regulated drain.

The original Hawthorne Hills drain was approved at public hearing by the Drainage Board on September 7, 1982 per my report dated July 2, 1982 as referenced in Minutes Book 1 pages 482 and 490. On February 22, 2010 the Hawthorne Hills Drain was made an arm to the Mud Creek – Sand Creek Drainage Area per my report dated December 21, 2009. See Minutes Book 12 pages 432 - 424.

Easements for this project have been acquired by the developer on the following parcels: 13-15-05-04-07-010.000 (Instr. No. 84-7722) owned by Glen and Valentia Jacobs; 13-15-05-04-03-044.000 owned by Department of Public Utilities for City of Indianapolis acting by and through Board of Directors for Utilities as Trustee of Public Charitable Trust for the Water System; 13-15-05-04-03-043.000 (Instr. No 2015059017) owned by Michael and Sandra Gonzalez; 13-15-05-04-03-042.000 (Instr. No. 2021029505) owned by Joseph and Patricia Gray.

The easement for this drain shall also include the secondary plat for Iron Pointe, Sec. 1; the existing easement (15' SD&UE) on the Kinder parcel (13-15-08-00-00-025.003; Wilson's Subdivision Tract 1, Instr. No. 8744423); the existing right-of-way for 106th street; the existing right-of-way for Augusta Blvd.; and the existing easement in Hawthorn Hills, Sec. 1 replat as recorded in the office of the Hamilton County Recorder.

The cost of the project is to be paid by the developer. The petitioner has submitted surety for the proposed drain at this time. The surety which is in the form of Performance Bond from the developer is as follows:

Agent: Berkley Insurance Company

Date: July 30, 2021

Number: 0240584

For: Storm Sewers

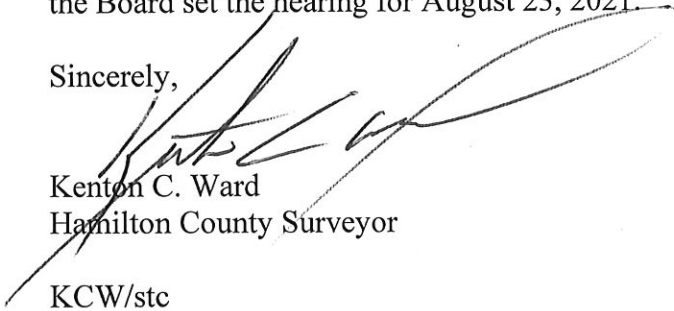
Amount: \$93,084.60

HCDB-2021-00028

The subdivision is annexed by the City of Fishers. Fishers has required the developer to post surety for the onsite storm system. With the exception of the proposed regulated drain, the maintenance of the onsite storm system falls under the jurisdiction of the city.

This proposal meets the criteria for extending an arm to a regulated drain as laid out in IC-39-9-27-66 and for reconstruction as laid out in IC 36-9-27-52.0. I recommend the Board set the hearing for August 23, 2021.

Sincerely,



Kenton C. Ward
Hamilton County Surveyor

KCW/stc

To: Hamilton County Drainage Board

Date: _____

Re: Hawthorne Hills Drain

Pulte Homes (Here-in-after "Petitioner"),

hereby petitions the Hamilton County Drainage Board under IC 36-9-27-66 for an arm to be installed to the Hawthorne Hills Drain in order to serve the property of the petitioner. The petitioner, in support of said petition, advises the Board that:

1. The Hawthorne Hills Drain is presently on a maintenance program and that land of the petitioner is assessed as benefited by the maintenance of the regulated drain
2. There is no known adequate open or tiled drain connecting the land of the petitioner with the regulated drain;
3. The waters from the petitioners land flow over or through land owned by others to reach the regulated drain;
4. The legal description of lands through which the new regulated drain will run along with the parcel numbers, name and address of each owner of that land is shown on Exhibit "A" which is attached;
5. The general route of the proposed new regulated drain and method of construction is shown on Exhibit "B" which is attached.
6. Petitioner agrees to pay all legal and construction costs involved with the construction of the proposed new regulated drain.

Signed

Printed

Hawthorne Hills

Drain Petition

Signature

Printed Name

Printed Address

Glen Jacobs
Valentia Jacobs

Glen Jacobs
Valentia Jacobs

10700 E 106th St. Fishers, IN
10700 E. 106th St r

To: Hamilton County Drainage Board

Date: _____

Re: Hawthorne Hills Drain

Pulte Homes (Here-in-after "Petitioner"),

hereby petitions the Hamilton County Drainage Board under IC 36-9-27-66 for an arm to be

installed to the Hawthorne Hills Drain in order to serve the property of the

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6. Petitioner agrees to pay all legal and construction costs involved with the construction of the proposed new regulated drain.

Signed

Printed

Sandra Gonzalez

Sandra Gonzalez

Hawthorne Hills

Drain Petition

Signature

Printed Name

Printed Address

Michael Gonzalez
Sandy Gonzalez

Michael Gonzalez
Sandy Gonzalez

10634 E 106th St
10634 E 106th St

To: Hamilton County Drainage Board

Date: _____

Re: Hawthorne Hills Drain

Pulte Homes (Here-in-after "Petitioner"),

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3. The waters from the petitioners land flow over or through land owned by others to reach the regulated drain;
4. The legal description of lands through which the new regulated drain will run along with the parcel numbers, name and address of each owner of that land is shown on Exhibit "A" which is attached;
5. The general route of the proposed new regulated drain and method of construction is shown on Exhibit "B" which is attached.
6. Petitioner agrees to pay all legal and construction costs involved with the construction of the proposed new regulated drain.

Signed

Printed

Joseph E. Gray
Patricia A. Gray

JOSEPH E. GRAY
Patricia A. Gray

Hawthorne Hills

Drain Petition

Signature

Printed Name

Printed Address

_____	_____	_____
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FINDINGS AND ORDER

CONCERNING THE PARTIAL VACATION OF THE

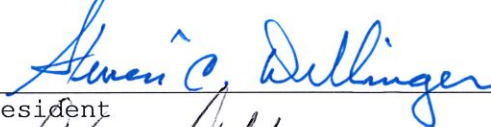
Mud Creek/Sand Creek Drainage Area,
Hawthorne Hills Drain, Iron Pointe Arm

Existing 6" SSD between Structure 101 and Structure 100

On this 23rd day of August, 2021, the Hamilton County Drainage Board has held a hearing on the Maintenance Report and Schedule of Assessments of the Mud Creek/Sand Creek Drainage Area, Hawthorne Hills Drain, Iron Pointe Arm (Existing 6" SSD between Structure 101 and Structure 100).

Evidence has been heard. Objections were presented and considered. The Board then adopted an order of action. The Board now finds that the costs of continued maintenance to the portion of the above drain exceed the benefits to the real estate benefited by the portion of the drain to be abandoned and issues this order vacating the above section of the Mud Creek/Sand Creek Drainage Area, Hawthorne Hills Drain, Iron Pointe Arm (Existing 6" SSD between Structure 101 and Structure 100).

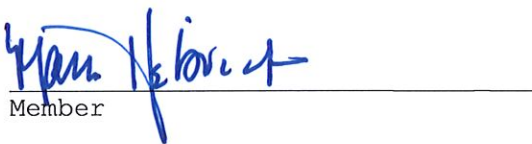
HAMILTON COUNTY DRAINAGE BOARD



President



Member



Member

Attest: 

STATE OF INDIANA)
) ss:
COUNTY OF HAMILTON)

BEFORE THE HAMILTON COUNTY
DRAINAGE BOARD
NOBLESVILLE, INDIANA

IN THE MATTER OF THE
RECONSTRUCTION OF THE
**Mud Creek/Sand Creek Drainage Area, Hawthorn Hills Drain, Iron Pointe
Arm**

FINDINGS AND ORDER FOR RECONSTRUCTION

The matter of the proposed Reconstruction of the **Mud Creek/Sand Creek Drainage Area, Hawthorne Hills Drain, Iron Pointe Arm** came before the Hamilton County Drainage Board for hearing **on August 23, 2021**, on the Reconstruction Report consisting of the report and the Schedule of Damages and Assessments. The Board also received and considered the written objection of an owner of certain lands affected by the proposed Reconstruction, said owner being:

Evidence was heard on the Reconstruction Report and on the aforementioned objections.

The Board, having considered the evidence and objections, and, upon motion duly made, seconded and unanimously carried, did find and determine that the costs, damages and expenses of the proposed Reconstruction will be less than the benefits accruing to the owners of all land benefited by the Reconstruction.

The Board having considered the evidence and objections, upon motion duly made, seconded and unanimously carried, did adopt the Schedule of Assessments as proposed, subject to amendment after inspection of the subject drain as it relates to the lands of any owners which may have been erroneously included or omitted from the Schedule of Assessments.

The Board further finds that it has jurisdiction of these proceedings and that all required notices have been duly given or published as required by law.


Wherefore, it is ORDERED, that the proposed Reconstruction of the **Mud Creek/Sand Creek Drainage Area, Hawthorne Hills Drain, Iron Pointe Arm** be and is hereby declared established.

Thereafter, the Board made inspection for the purpose of determining whether or not the lands of any owners had been erroneously included or excluded from the Schedule of Assessments. The Board finds on the basis of the reports and findings at this hearing as follows:

HAMILTON COUNTY DRAINAGE BOARD




PRESIDENT



Member



Member

ATTEST: 
Executive Secretary



Hamilton County Surveyor's Office
 1 North 8th Street #188
 Noblesville, Indiana 46060

RE: Iron Pointe, Section 1

On behalf of the developer, Pulte Group, I am submitting this Engineer's Estimate for Iron Pointe, Section 1 Offsite Storm

BASE PLAN							
ITEM	QTY.	UNIT	UNIT COST	CONTRACT TOTAL	120% CONTRACT TOTAL	20% CONTRACT TOTAL	CONTRACT TOTAL
<i>Storm Sewers</i>							
<i>Storm Sewers</i>							
12" RCP Storm	999	LF	\$49.50	\$49,450.50	\$59,340.60		\$9,890.10
48" Storm Manhole	7	EA	\$3,810.00	\$26,670.00	\$32,004.00		\$5,334.00
12" CES w/Debris Guard	1	EA	\$1,450.00	\$1,450.00	\$1,740.00		\$290.00
			Subtotal	\$77,570.50	\$93,084.60		\$15,514.10
Subtotal - Base Plan (rounded)				\$77,570.50	\$93,084.60		\$15,514.10
STORM SEWERS				\$77,570.50	\$93,084.60		\$15,514.10
Estimated Construction Total for Base Plan				\$77,570.50	\$93,084.60		\$15,514.10

Not Included in the OPCC:

PERFORMANCE BOND

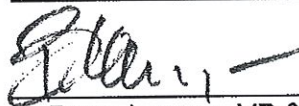
KNOW ALL MEN BY THESE PRESENTS, that Pulte Homes of Indiana, LLC of 11590 N. Meridian, Suite 530, Carmel IN 46032, as Principal, and Berkley Insurance Company, a corporation organized and existing under the laws of the State of Delaware, and authorized to transact business in the state of Indiana, as Surety, are held and firmly bound unto the Hamilton County Board of Commissioners, One Hamilton County Square, Noblesville IN 46060 as Obligee, in the penal sum of Ninety Three Thousand Eighty Four and 60/100 (\$93,084.60) for the payment of which sum, well and truly to be made, we bind ourselves, our heirs, administrators, executors, successors and assigns, jointly and severally, firmly by these presents.

WHEREAS, the Principal has agreed to construct storm sewer improvements in the Iron Pointe, Section 1 subdivision.

NOW, THEREFORE, the condition of this obligation is such that if said Principal shall well and truly perform said work in accordance with said standards, then this obligation shall be void, otherwise to remain in full force and effect.

Signed, sealed and dated this 30th of July, 2021.

Pulte Homes of Indiana, LLC



D. Bryce Langen, VP & Treasurer

Berkley Insurance Company



Jeremy Polk, Attorney-in-Fact



POWER OF ATTORNEY
BERKLEY INSURANCE COMPANY
WILMINGTON, DELAWARE

KNOW ALL MEN BY THESE PRESENTS, that BERKLEY INSURANCE COMPANY (the "Company"), a corporation duly organized and existing under the laws of the State of Delaware, having its principal office in Greenwich, CT, has made, constituted and appointed, and does by these presents make, constitute and appoint: *Jeremy R. Polk or Matthew Erra of USI Insurance Services, LLC of Phoenix, AZ* its true and lawful Attorney-in-Fact, to sign its name as surety only as delineated below and to execute, seal, acknowledge and deliver any and all bonds and undertakings, with the exception of Financial Guaranty Insurance, providing that no single obligation shall exceed **Fifty Million and 00/100 U.S. Dollars (U.S.\$50,000,000.00)**, to the same extent as if such bonds had been duly executed and acknowledged by the regularly elected officers of the Company at its principal office in their own proper persons.

This Power of Attorney shall be construed and enforced in accordance with, and governed by, the laws of the State of Delaware, without giving effect to the principles of conflicts of laws thereof. This Power of Attorney is granted pursuant to the following resolutions which were duly and validly adopted at a meeting of the Board of Directors of the Company held on January 25, 2010:

RESOLVED, that, with respect to the Surety business written by Berkley Surety, the Chairman of the Board, Chief Executive Officer, President or any Vice President of the Company, in conjunction with the Secretary or any Assistant Secretary are hereby authorized to execute powers of attorney authorizing and qualifying the attorney-in-fact named therein to execute bonds, undertakings, recognizances, or other suretyship obligations on behalf of the Company, and to affix the corporate seal of the Company to powers of attorney executed pursuant hereto; and said officers may remove any such attorney-in-fact and revoke any power of attorney previously granted; and further

RESOLVED, that such power of attorney limits the acts of those named therein to the bonds, undertakings, recognizances, or other suretyship obligations specifically named therein, and they have no authority to bind the Company except in the manner and to the extent therein stated; and further

RESOLVED, that such power of attorney revokes all previous powers issued on behalf of the attorney-in-fact named; and further

RESOLVED, that the signature of any authorized officer and the seal of the Company may be affixed by facsimile to any power of attorney or certification thereof authorizing the execution and delivery of any bond, undertaking, recognizance, or other suretyship obligation of the Company; and such signature and seal when so used shall have the same force and effect as though manually affixed. The Company may continue to use for the purposes herein stated the facsimile signature of any person or persons who shall have been such officer or officers of the Company, notwithstanding the fact that they may have ceased to be such at the time when such instruments shall be issued.

IN WITNESS WHEREOF, the Company has caused these presents to be signed and attested by its appropriate officers and its corporate seal hereunto affixed this 30th day of July, 2021.



Attest:

By

Ira S. Lederman
Executive Vice President & Secretary

Berkley Insurance Company

By

Jeffrey M. Hafter
Senior Vice President

STATE OF CONNECTICUT)
) ss:
COUNTY OF FAIRFIELD)

Sworn to before me, a Notary Public in the State of Connecticut, this 30th day of July, 2021, by Ira S. Lederman and Jeffrey M. Hafter who are sworn to me to be the Executive Vice President and Secretary, and the Senior Vice President, respectively, of Berkley Insurance Company.

MARIA C RUNDBAKEN
NOTARY PUBLIC
CONNECTICUT
MY COMMISSION EXPIRES
APRIL 30, 2024

Maria C. Rundbaker
Notary Public, State of Connecticut

CERTIFICATE

I, the undersigned, Assistant Secretary of BERKLEY INSURANCE COMPANY, DO HEREBY CERTIFY that the foregoing is a true, correct and complete copy of the original Power of Attorney; that said Power of Attorney has not been revoked or rescinded and that the authority of the Attorney-in-Fact set forth therein, who executed the bond or undertaking to which this Power of Attorney is attached, is in full force and effect as of this date.

under my hand and seal of the Company, this 30th day of July, 2021.



Vincent P. Forte

ACKNOWLEDGEMENT BY PRINCIPAL

STATE OF GEORGIA)

) ss.

COUNTY OF FULTON)

This record was acknowledged before me on July 30, 2021, appeared D. Bryce Langen, VP & Treasurer of Pulte Homes of Indiana, LLC, who provided to me on the basis of satisfactory evidence to be the person who appeared before me and is personally known to me.

WITNESS my hand official seal.





Signature of Notary Public

Shirley E. Hutchins
Notary Public State of Georgia
My Commission Expires: March 18, 2022

BEFORE THE HAMILTON COUNTY DRAINAGE BOARD
IN THE MATTER OF

***Mud Creek/Sand Creek Drainage Area,
Hawthorne Hills Drain, Iron Pointe Arm***

NOTICE

To Whom It May Concern and: _____

Notice is hereby given of the hearing of the Hamilton County Drainage Board concerning the reconstruction of the **Mud Creek/Sand Creek Drainage Area, Hawthorne Hills Drain, Iron Pointe Arm** on **August 23, 2021** at **9:00 A.M.** in Commissioners Court, Hamilton County Judicial Center, One Hamilton County Square, Noblesville, Indiana. Construction and maintenance reports of the Surveyor and the Schedule of Assessments proposed by the Drainage Board have been filed and are available for public inspection in the office of the Hamilton County Surveyor.

Hamilton County Drainage Board

Attest: Lynette Mosbaugh

ONE TIME ONLY

STATE OF INDIANA)
) SS BEFORE THE HAMILTON
)
COUNTY OF HAMILTON) DRAINAGE BOARD

IN THE MATTER OF **Mud Creek/Sand Creek Drain, Hawthorne Hills, Iron Pointe Arm**

NOTICE

Notice is hereby given that the Hamilton County Drainage Board at its regular meeting **August 23, 2021** adopted the reconstruction report of the Surveyor and the Amended Schedule of damages and assessments including annual assessment for periodic maintenance, finding that the costs, damages and expense of the proposed improvement would be less than the benefits which will result to the owner of lands benefited thereby.

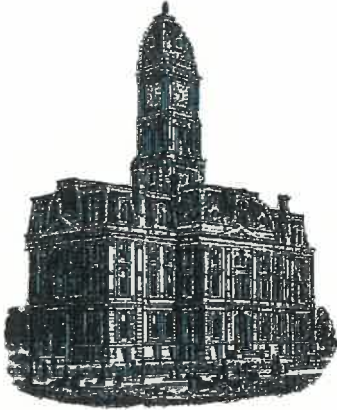
The Board issued an order declaring the proposed improvement established. Such findings and order were marked filed and are available for inspection in the Office of the Hamilton County Surveyor.

If judicial review of the findings and order of the Board is not requested pursuant to Article VIII of the 1965 Indiana Drainage Code as amended within twenty (20) days from the date of publication of this notice, the findings and order shall become conclusive.

HAMILTON COUNTY DRAINAGE BOARD

BY: Steven C. Dillinger
PRESIDENT

ATTEST: Lynette Mosbaugh
SECRETARY



Kenton C. Ward, CFM
Surveyor of Hamilton County
Phone (317) 776-8495
Fax (317) 776-9628

Suite 188
One Hamilton County Square
Noblesville, Indiana 46060-2230

To: Hamilton County Drainage Board

May 18, 2023

Re: Mud Creek – Sand Creek D.A.: Hawthorn Hills Drain – Iron Pointe Arm

Attached are as-built, certificate of completion & compliance, and other information for the Iron Pointe Arm. An inspection of the drainage facilities for this section has been made and the facilities were found to be complete and acceptable.

During construction, changes were made to the drain, which will alter the plans submitted with my report for this drain-dated August 18, 2021. The report was approved by the Board at the hearing held August 23, 2021. (See Drainage Board Minutes Book 20, Pages 131-134) The changes are as follows: the 12" RCP was shortened from 1000 feet to 985 feet. The length of the drain due to the changes described above is now **985 feet**. It should be noted that 267 feet of 6" SSD was removed with this project.

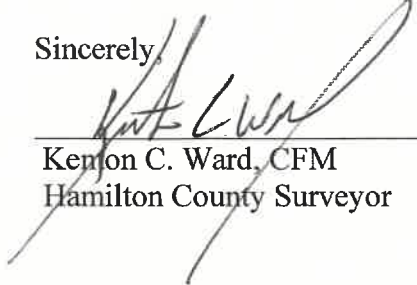
The easements were outlined in my report listed above. The offsite drainage easements were recorded under the following instrument #'s 2021067004, 2021067005, 2021067006, 2021067007.

The following sureties were guaranteed by Berkley Insurance Company and released by the Board on its April 10, 2023, meeting.

Bond-LC No: 0240584
Amount: \$93,084.60
For: Storm Sewers
Issue Date: July 30, 2021

I recommend the Board approve the drain's construction as complete and acceptable.

Sincerely,



Kenjon C. Ward, CFM
Hamilton County Surveyor

CERTIFICATE OF COMPLETION AND COMPLIANCE

To: Hamilton County Surveyor

Re: Iron Pointe, Section 1

I hereby certify that:

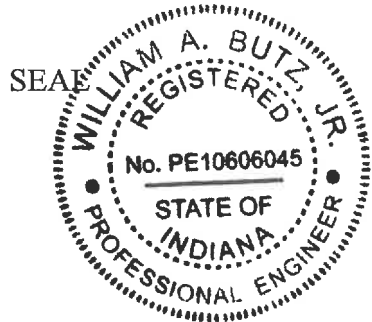
1. I am a Registered Land Surveyor or Engineer in the State of Indiana.
2. I am familiar with the plans and specifications for the above referenced subdivision.
3. I have personally observed and supervised the completion of the drainage facilities for the above referenced subdivision.
4. The drainage facilities within the above referenced subdivision to the best of my knowledge, information and belief have been installed and completed in conformity with all plans and specifications.
5. The drainage facilities within the above referenced subdivision to the best of my knowledge, information and belief have been correctly represented on the Record Drawings, Digital Record Drawings and the Structure Data Spreadsheet.

Signature:  Date: 3/20/2023

Type or Print Name: Bill Butz

Business Address: 250 E. 96th Street, Suite 580
Indianapolis, IN 46240

Telephone Number: (317) 218-9561



INDIANA REGISTRATION NUMBER
PE 10606045

PLANS PREPARED BY:
KIMLEY-HORN & ASSOCIATES
250 EAST 96TH STREET, SUITE 580
INDIANAPOLIS, IN 46240
CONTACT: BRETT HUFF
PHONE: (317) 912-4129
EMAIL: BRETT.HUFF@KIMLEY-HORN.COM

INDIANA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS LATEST EDITION TO BE USED WITH THESE PLANS UNLESS ALTERNATE SPECIFICATIONS ARE SHOWN WITHIN.
THESE PLANS MEET THE MOST CURRENT ADA STANDARDS.

ANTICIPATED START OF CONSTRUCTION DATE: JULY 2021
ANTICIPATED COMPLETION OF CONSTRUCTION DATE: JULY 2026

CONSTRUCTION DRAWINGS

IRON POINTE

SECTION 1

UTILITY AND GOVERNING AGENCY CONTACTS

GAS
VECTREN
16000 ALLISONVILLE RD.
PO BOX 1700
NOBLESVILLE, IN 46062
CONTACT: SHAWN WILLIAMS
TEL: (317) 776-5574

TELEPHONE
AT & T
5858 N. COLLEGE AVE.
INDIANAPOLIS, IN 46220
CONTACT: GREG MILLION
TEL: (317) 252-5168

SANITARY SEWER
SAMCO/HSE UTILITIES
11901 LAKESIDE DR.
FISHERS, IN 46038
CONTACT: TOM KALLIO
TEL: (317) 577-1150 EXT. 201

WATER
CITIZENS ENERGY GROUP/CWA AUTHORITY, INC.
2150 DR. MARTIN LUTHER KING DRIVE
INDIANAPOLIS, IN 46202
CONTACT: BRAD HOSSTELER
TEL: (317) 927-4351

ELECTRIC
DUKE ENERGY
100 SOUTH MILL CREEK RD.
NOBLESVILLE, IN 46062
CONTACT: JESSI HERRINGTON
TEL: (317) 776-5365

STREETS
FISHERS PUBLIC WORKS AND ENGINEERING
ONE MUNICIPAL DR.
FISHERS, IN 46038
TEL: (317) 595-3160

ELECTRIC / FIBER
2331 E 600 NORTH
GREENFIELD, IN 46140
NINESTAR CONNECT
CONTACT: ERIC MEYER
TEL: (317) 326-3131

DRAINAGE
FISHERS PUBLIC WORKS AND ENGINEERING
ONE MUNICIPAL DR.
FISHERS, IN 46038
TEL: (317) 595-3160

PROJECT TEAM

ROLE	COMPANY	ADDRESS	PHONE NUMBER	EMAIL	CONTACT
DEVELOPER/OWNER	PULTE GROUP	11590 N. MERIDIAN ST., STE 530 CARMEL, IN 46032	(317) 814-2028	Joseph.Marx@PulteGroup.com	JOE MARX
CIVIL ENGINEER	KIMLEY-HORN & ASSOCIATES, INC.	250 E. 96TH ST., STE 580, INDIANAPOLIS, IN 46240	(317) 912-4129	brett.huff@kimley-horn.com	BRETT HUFF

National Flood Hazard Layer FIRMette



Legend

SEE FIRM REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LOCIT

SPECIAL FLOOD HAZARD AREAS	Description
	Water Surface Flood Elevation (BF) With BE or Depth (from 100 Year Rec. 50 Year Reg.)
	0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile (1000 ac)
	Future Conditions 1% Annual Chance Flood Hazard (100 yr)
	Area with Reduced Flood Risk due to Levee. See notes.
	Area with Flood Risk due to Levee (100 yr)

OTHER AREAS OF FLOOD HAZARD

	Area of Minimal Flood Hazard (100 yr)
	Flowline Limits
	Area of Undetermined Flood Hazard (100 yr)

OTHER AREAS

	Channel, Culvert, or Storm Sewer
	Levee, Dike, or Floodwall

GENERAL STRUCTURES

	Cross Sections with 1% Annual Chance Flood Hazard
	Water Surface Elevation
	Coastal Tract
	Base Flood Elevation Line (BFE)
	Limit of Study
	Jurisdiction Boundary
	Coastal Tract Boundary

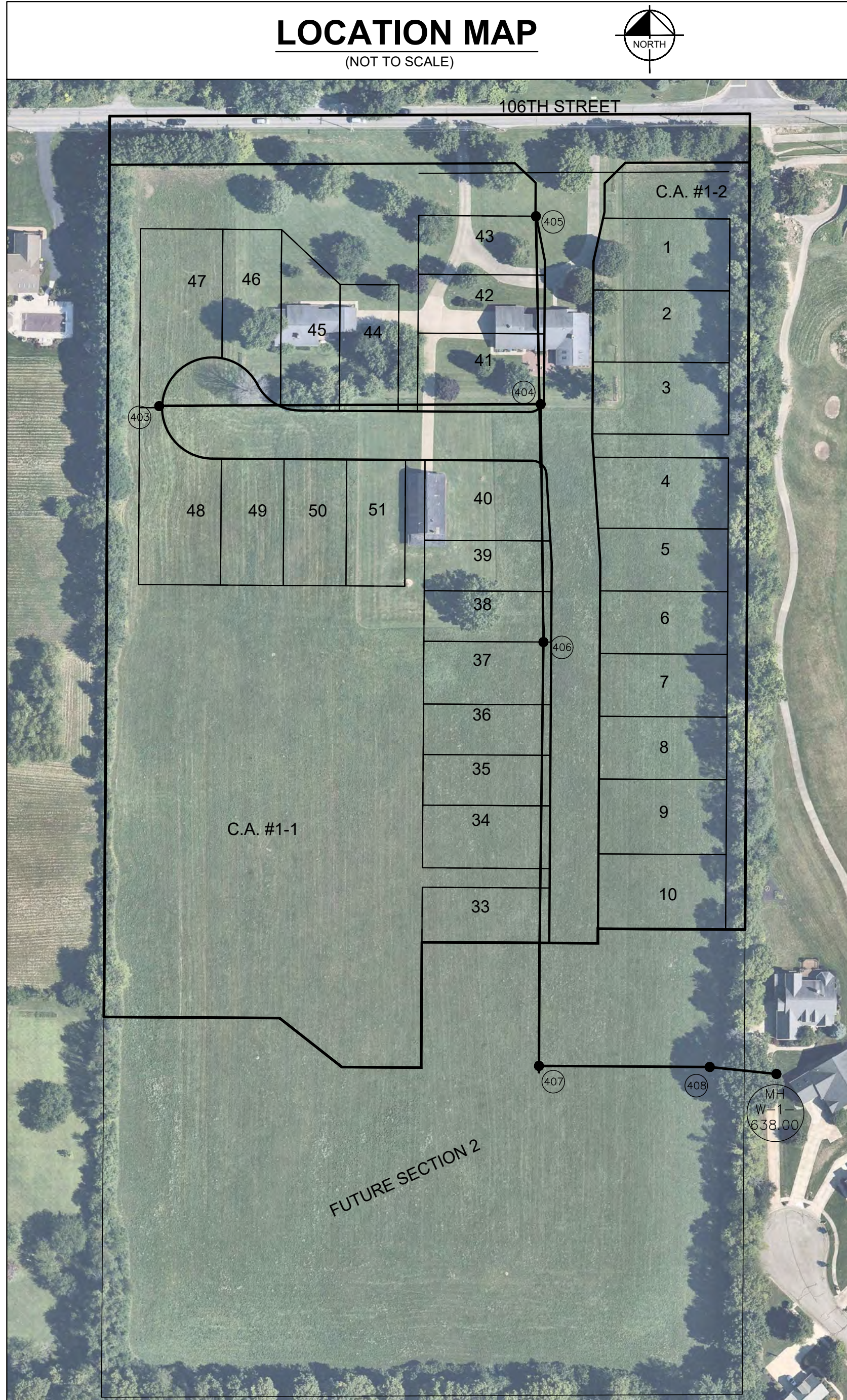
OTHER FEATURES

	Profile Baseline
	Hydrographic Feature
	Digital Data Available
	No Digital Data Available
	Unmapped

MAP PANELS

	The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.
--	--

This map complies with FEMA standards for the use of digital flood maps if it is not void as described below. The base map complies with FEMA's base map accuracy standards. The flood hazard information is derived directly from the authoritative NFHL with services provided by FEMA. This map was updated on 11/19/2014 at 2:01:54 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time. This map image is valid if the use or more of the following map elements do not appear: base map imagery, flood zone labels, legend, scale bar, north arrow, coordinate system, jurisdiction, FIRM panel number, and FIRM effective date. Map images for unapproved and uncontrolled areas cannot be used for regulatory purposes.



UTILITY AS-BUILT DRAWINGS



Civil & Environmental Consultants, Inc.
530 E. Ohio Street - Suite G - Indianapolis, IN 46204
317-655-7777 · 877-746-0749
www.cecinc.com

DATE: 09-07-2022	DRAWN BY: DAB
DWG SCALE: AS SHOWN	CHECKED BY: ESC
PROJECT NO: 320-281	APPROVED BY: TDW

THE RECORD DRAWING INFORMATION PRESENTED ON THIS SHEET WAS PERFORMED UNDER MY DIRECT SUPERVISION. I CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF ALL INFORMATION REPRESENTS CONSTRUCTED CONDITIONS AS OF THE DATE OF THE CERTIFICATION. THE SLOPE PERCENTAGE REPRESENTS A CALCULATED FIGURE AND IS FOR GENERAL INFORMATION ONLY. THE WYE LOCATION AND OTHER UNDERGROUND INFORMATION NOT VISIBLE WAS FURNISHED BY THE CONTRACTOR AND IS EXCLUDED FROM THE CERTIFICATION.

DATED: 09-07-2022 SIGNED: [Signature]
REPRESENTING: CIVIL & ENVIRONMENTAL CONSULTANTS, INC.



Sheet List Table

Sheet Number	Sheet Title
C100	COVER SHEET
C101	GENERAL SPECS
C102	TOPO-DEMO-PLAN
C103	TOPO-DEMO-PLAN
C200	SITE DEVELOPMENT PLAN
C201	SITE DEVELOPMENT PLAN
C210	GRADING PLAN
C220	EMERGENCY FLOOD ROUTE PLAN
C300	INITIAL EROSION CONTROL PLAN
C310	TEMP EROSION CONTROL PLAN
C320	PERM EROSION CONTROL PLAN
C330	EROSION CONTROL SPECS
C331	EROSION CONTROL DETAILS
C332	EROSION CONTROL DETAILS
C333	EROSION CONTROL DETAILS
C400	STREET PLAN AND PROFILE
C410	ENTRANCE PLAN
C420	TRAFFIC CONTROL PLAN
C430	M.O.T. PLAN
C431	MARKING PLAN
C440	INTERSECTION DETAILS
C500	SANITARY PLAN AND PROFILE
C501	SANITARY PLAN AND PROFILE
C510	CONSTRUCTION DETAILS
C511	CONSTRUCTION DETAILS
C512	CONSTRUCTION DETAILS
C600	STORM PLAN AND PROFILE
C601	STORM PLAN AND PROFILE
C602	STORM PLAN AND PROFILE
C605	SUB SURFACE PLAN
C700	WATER PLAN
C701	WATER PLAN
C702	CITIZENS WATER DETAILS
C800	CONSTRUCTION DETAILS
L100	LANDSCAPE PLAN
L101	LANDSCAPE PLAN
L102	LANDSCAPE DETAILS
1.7-17.19-20	FISHERS STANDARD CONSTRUCTION DETAILS

PROJECT LOCATION



Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
CIA	Crosby silt loam, fine-loamy subsoil, 0 to 2 percent slopes	0.8	0.9%
W	Water	0.1	0.2%
Wh	Whitaker loam	2.8	3.3%
YbA	Brookston silt clay loam-Urban land complex, 0 to 2 percent slopes	28.8	33.6%
YcA	Crosby silt loam, fine-loamy subsoil-Urban land complex, 0 to 2 percent slopes	51.2	59.9%
Yms2	Miami silt loam-Urban land complex, 12 to 18 percent slopes, eroded	1.8	2.1%
Totals for Area of Interest		85.5	100.0%

DEVELOPMENT STANDARDS PUD ORD. NO. 021720

MIN. LOT AREA	6,600 SFT.
MIN. BUILDING SETBACK	20 FT
MIN. REAR YARD SETBACK	20 FT
MIN. SIDE YARD SETBACK	5 FT
MIN. ROAD FRONTAGE	50 FT
MIN. OPEN SPACE	30%
MAX. DENSITY (UNITS/ACRES)	3.0

PROJECT INFORMATION

13.54 ACRES	SECTION 1
29 LOTS	2.14 LOTS/ACRE
DESIGN SPEED LIMIT	25 MPH
TOTAL CA	5.32 AC±
LAKE AREA	1.21 AC±
USEABLE OPEN SPACE	4.11 AC± (77%)
ESTIMATED DISTURBED AREA	18.3 AC±

STREETS

NAME	LENGTH (LF±)
IRON POINTE DRIVE	853
WEST IRON COURT	393

CITY OF FISHERS NOTES:

MINIMUM DISTANCE BETWEEN A DRIVEWAY AND A PARALLELING ADJACENT STREET IS 25 FEET MEASURED FROM EDGE OF RIGHT-OF-WAY TO THE NEAREST EDGE OF DRIVEWAY AT THE RIGHT-OF-WAY.

THE DESIGN AND CONSTRUCTION OF THIS SUBDIVISION SHALL MEET THE REQUIREMENTS OF THE CITY OF FISHERS, STANDARD CONSTRUCTION DETAILS, CONSTRUCTION SPECIFICATIONS, AND A.D.A. REQUIREMENTS. THE OMISSION OF ANY CURRENT STANDARD DETAIL DOES NOT RELIEVE THE CONTRACTOR FROM THIS REQUIREMENT.

CONTRACTOR SHALL SCHEDULE A SITE PRE-CONSTRUCTION MEETING WITH THE CITY OF FISHERS PRIOR TO ANY CONSTRUCTION ON SITE BEING STARTED.

THE FINAL SITE INSPECTION WILL NOT BE PERFORMED BY THE FISHERS DEPARTMENT OF ENGINEERING INSPECTOR UNTIL ALL SITE AND RIGHT-OF-WAY WORK IS COMPLETED.

SITE RECORD DRAWINGS ARE REQUIRED TO BE SUBMITTED IN THE FISHERS STANDARD FORMAT PRIOR TO ENGINEERING DEPARTMENT RELEASE OF THE COMPLETED SITE.

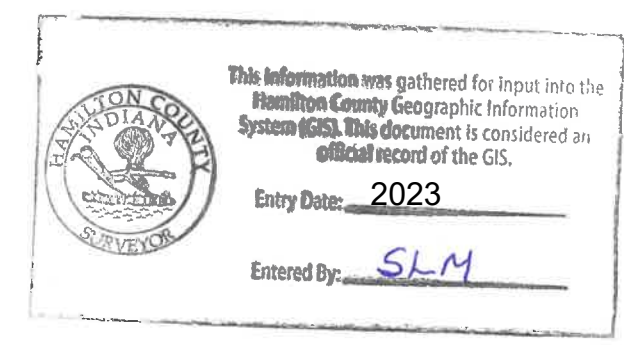
A CITY OF FISHERS RIGHT-OF-WAY ACTIVITY PERMIT IS REQUIRED FOR UTILITY WORKS CROSSING EXISTING PUBLIC RIGHT-OF-WAY.

UTILITY WORK WITHIN EXISTING PUBLIC RIGHT-OF-WAY OR WITHIN 5' OF EXISTING PUBLIC RIGHT-OF-WAY PAVEMENT REQUIRES FLOWABLE FILL.

ALL ROADS MUST BE BROUGHT BACK TO ORIGINAL OR BETTER CONDITION, INCLUDING BUT NOT LIMITED TO PAVEMENT MARKINGS, CURB/STONE SHOULDERS, SIGNAGE, ETC. REPAIRS SHALL COINCIDE WITH THE ADJOINING ROAD.

ALL PERIMETER PATHS AND COMMON AREA SIDEWALKS OR PATHS ARE TO BE CONSTRUCTED AS PART OF THE SITE INFRASTRUCTURE. INDIVIDUAL LOT SIDEWALKS ARE TO BE CONSTRUCTED AT THE TIME OF HOME CONSTRUCTION.

UTILITY CONFLICTS (INCLUDING UTILITY POLES/PEDESTALS) MUST BE COMPLETELY RESOLVED PRIOR TO CONSTRUCTION OF ACCELERATION/DECELERATION, PASSING BLISTER LANES AND/OR LEFT TURN LANES. CONSTRUCTION OF THESE LANES INCLUDES BUT IS NOT LIMITED TO EXCAVATION, EMBANKMENT, PAVING, AND SUBGRADE PREPARATION, ETC.



AS-BUILTS

Indiana Utilities Protection Service
Call 811
before you dig

COVER SHEET

IRON POINTE SECTION 1 FISHERS, IN

ORIGINAL ISSUE: 05/03/2021
KHA PROJECT NO. 170140002
SHEET NUMBER C100

DESIGNED BY: JSM
DRAWN BY: JRG
CHECKED BY: BAH

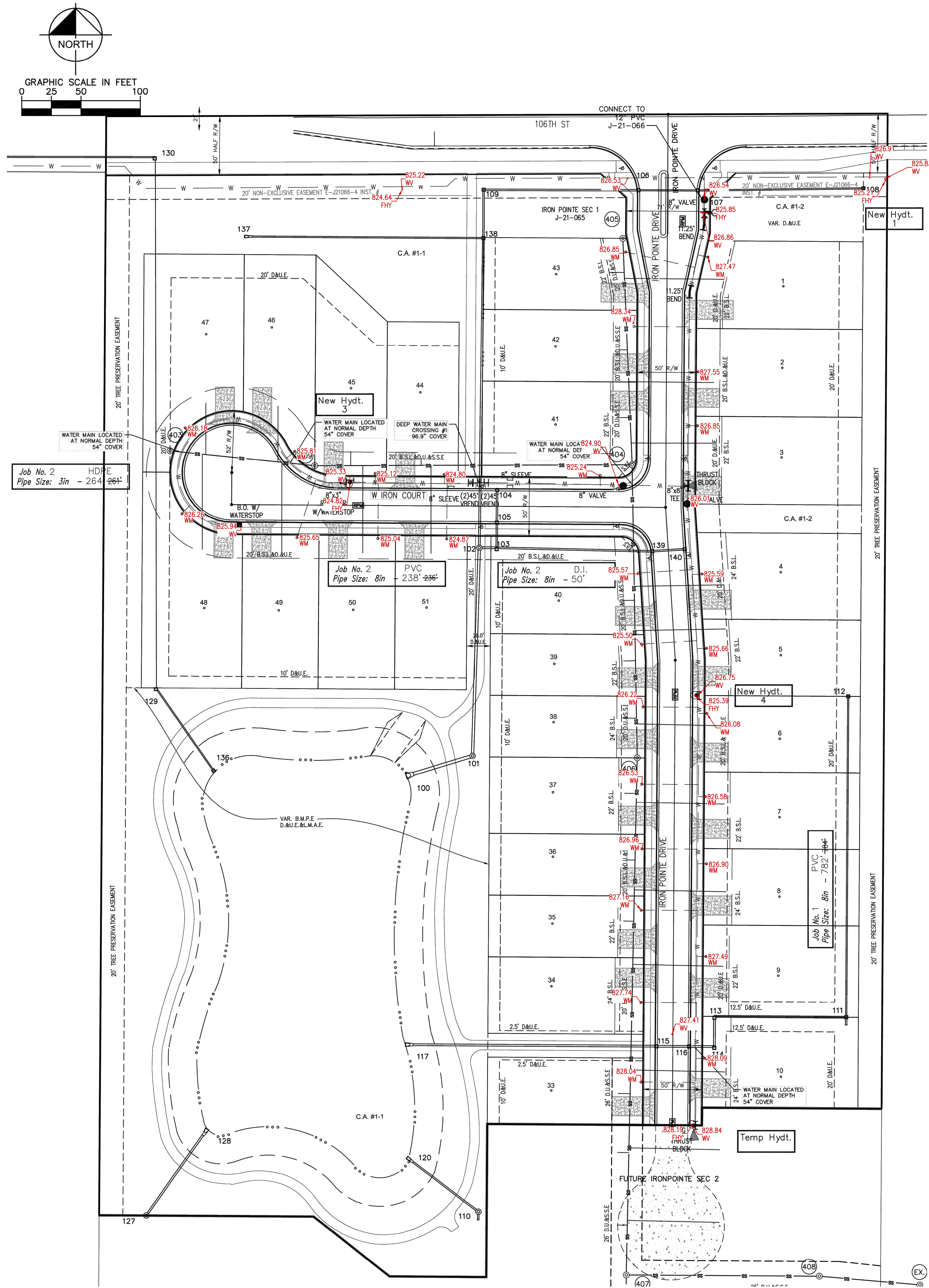
REGISTERED PROFESSIONAL ENGINEER
No. PE1008045
STATE OF INDIANA
6/15/2023

AS NOTED
DESIGNED BY: JSM
DRAWN BY: JRG
CHECKED BY: BAH

REVOLUTIONS
DATE

BY

Drawing name: K:\IND_LIVE\170140002_Pulte\IronPointe_Fishers\IN\3_Correspondence\From_Others\Submittal\WATER PLAN-AB.dwg C700 Mar 14, 2022 8:58am by Pete White
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SECTION 1

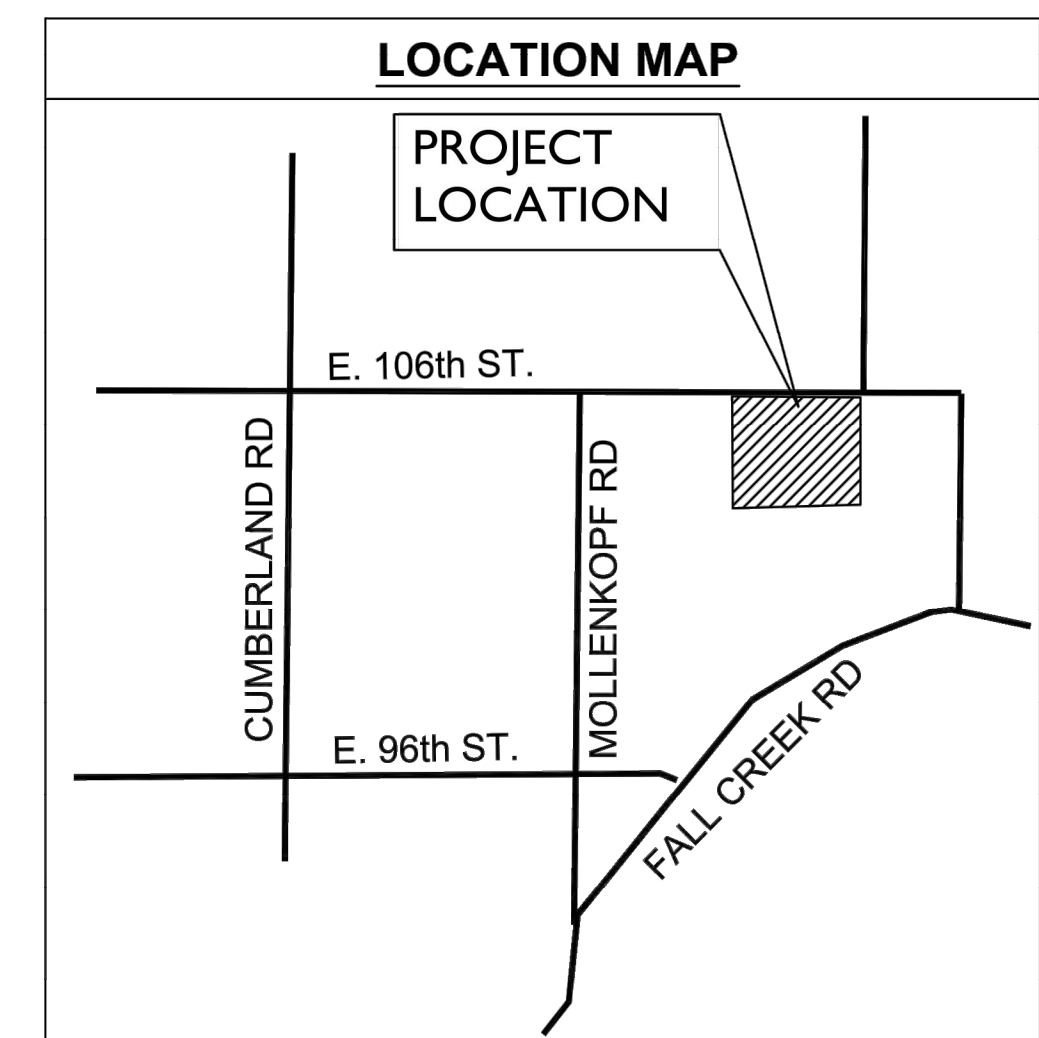
PROPOSED LEGEND

	HYDRANT		CROSS
	HYDRANT WITH VALVE		TEE
	VALVE		PLUG
	BEND		PROPOSED SANITARY MANHOLE
	REDUCER		PROPOSED WATER
	BLOWOFF		EXISTING WATER
	THRUST BLOCK		PROPOSED SANITARY SEWER
	RAISED PAVEMENT MARKING		

1 - INCH WATER SERVICE LATERAL W/ 3/4 - INCH METER PIT FOR SINGLE SERVICES

NOTES

- SEE CITIZENS WATER STANDARDS PRELIMINARY STANDARD PRACTICE AND ENGINEERING REQUIREMENTS FOR THE INSTALLATION OF WATER MAINS, SERVICE LINES, METERS AND APPURTENANCES LATEST VERSION.
- MINIMUM COVER OVER TOP OF ALL WATERMAINS TO BE 54" FROM FINISH GRADE.
- VALVES ARE TO BE PLACED IN GRASS AREAS.
- STANDARD PRACTICE "O" INSTALLATION OF RESTRAINTS MUST BE FOLLOWED DURING CONSTRUCTION OF WATER MAIN. ANY QUESTIONS, ASK CEG INSPECTOR.
- ALL WATER MAINS MUST MAINTAIN A MINIMUM OF 10' HORIZONTAL SEPARATION AND A MINIMUM OF 18" VERTICAL SEPARATION FROM ALL SANITARY AND STORM SEWERS.
- FIRE HYDRANTS TO REQUIRE STORZ CONNECTIONS.



CITIZENS WATER PROJECT LEGEND

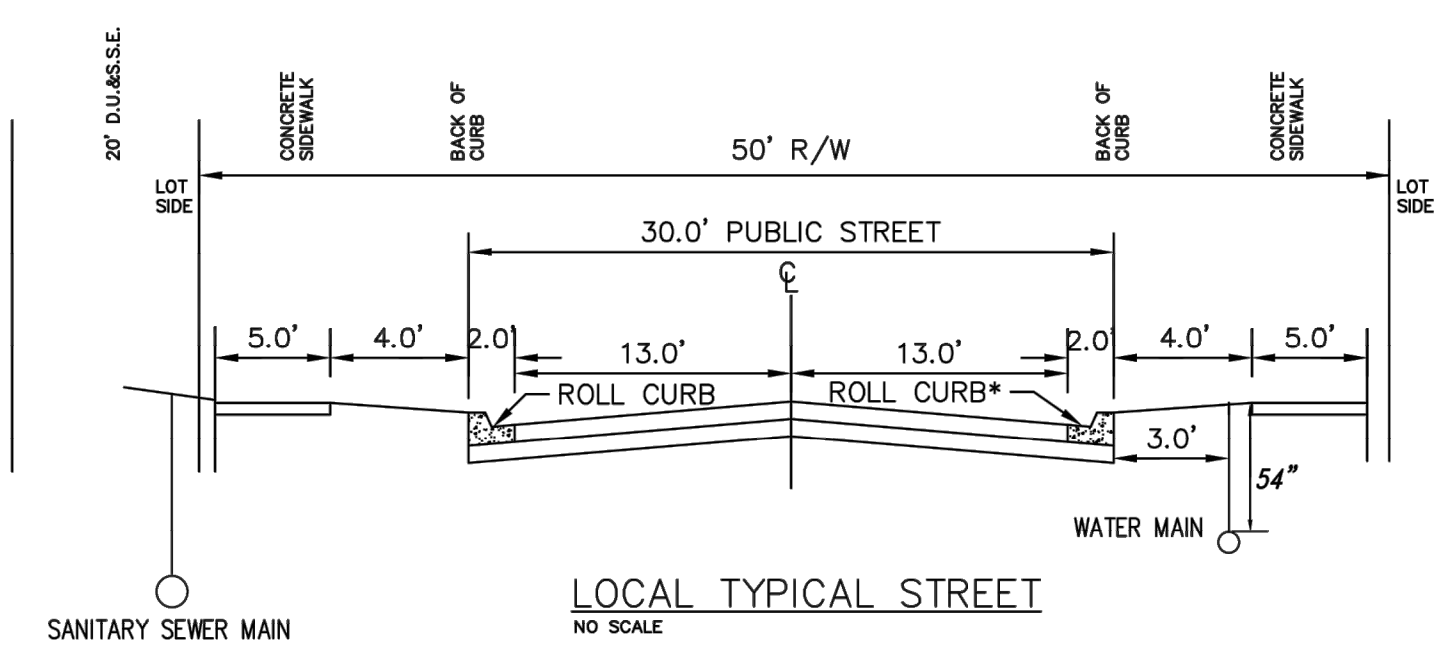
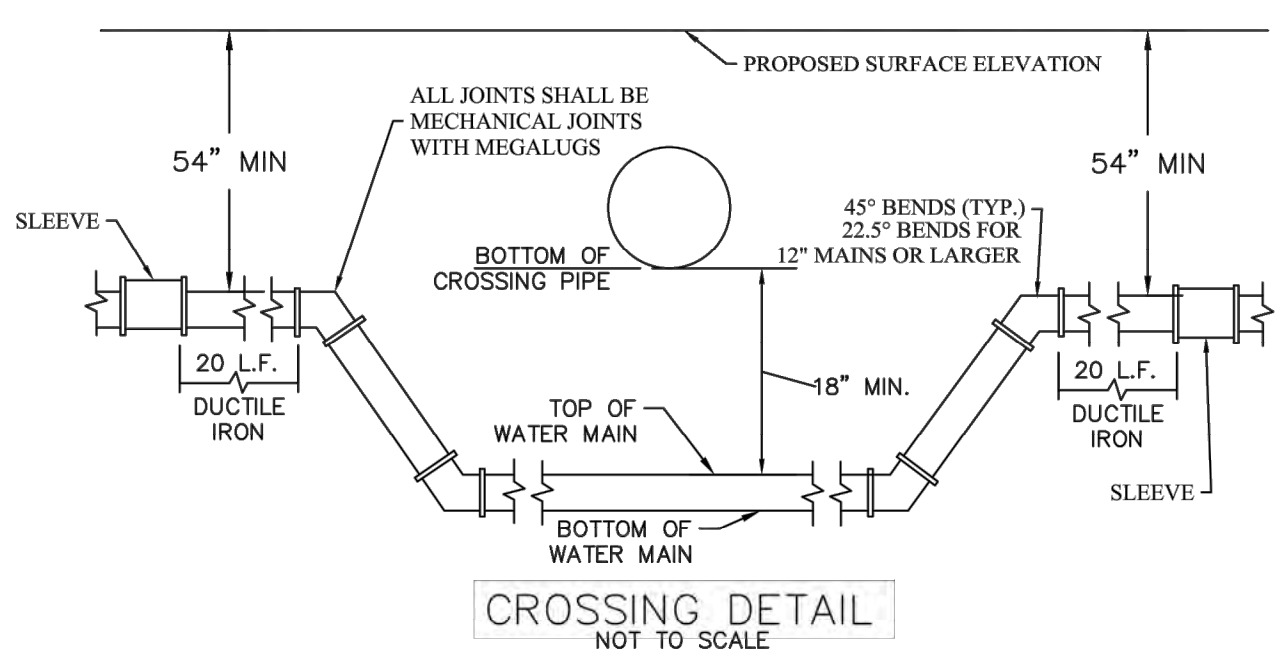
IRON POINTE SECTION 1
Project Number: J-21-065

JOB #	STREET NAME	Pipe Size	Pipe Type	Total Pipe
1	IRON POINTE DRIVE	8"	PVC	784' 782'
2	W IRON COURT	8"	PVC	236' 239'
2	W IRON COURT	3"	H.D.P.E.	264' 264'
2	W IRON COURT	8"	D.I.	50'
# of Service Lines				1,334'
29	SINGLE SERVICE LINE PIPE	1"	HOPE	732' 752'

NOTE: ALL FIRE HYDRANTS SHOWN GRAPHICALLY TO BE INSTALLED BETWEEN CURB AND WALK PER CITIZENS STANDARDS.

CROSSING SUMMARY TABLE

CROSSING	Lower Main (F/N)	Bottom of Crossing Pipe	Top of Water Main	Proposed Surface Elevation	Bottom of Water Main	Crossing Pipe Size
#1	Y	818.04	816.54	824.62	815.87	18"



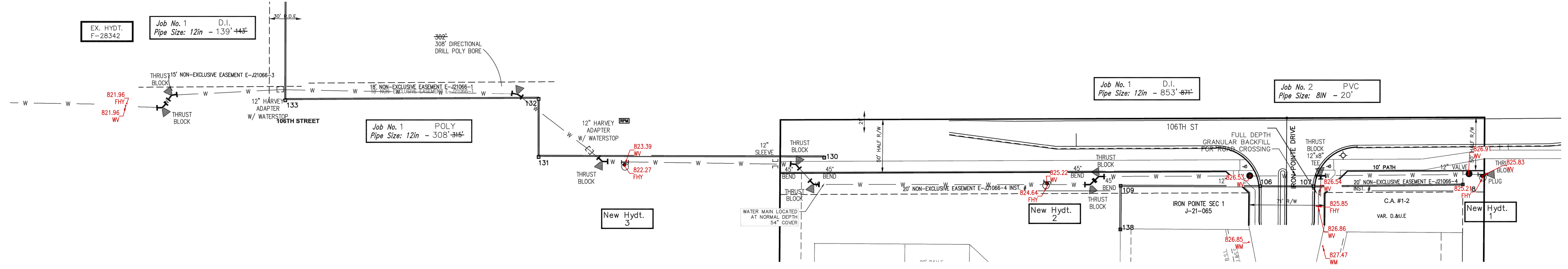
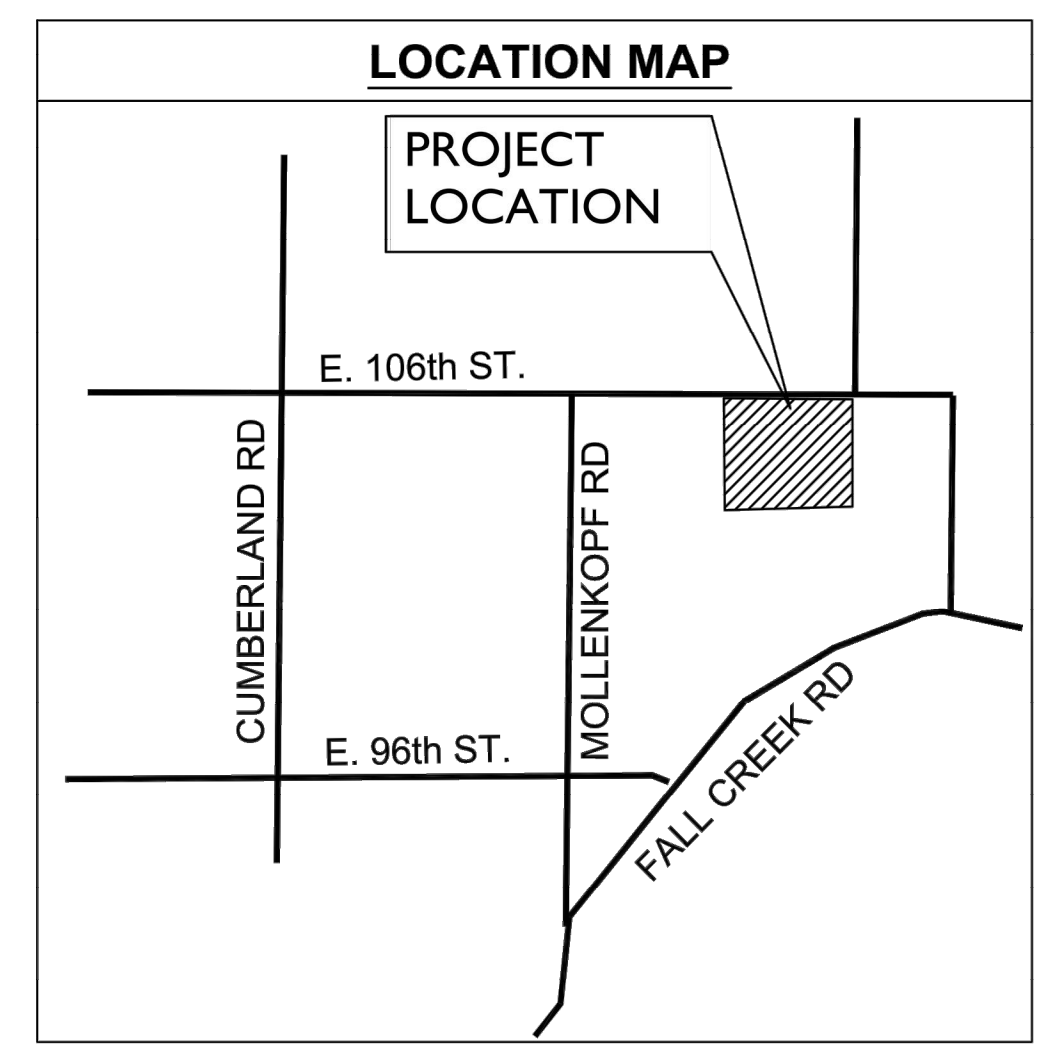
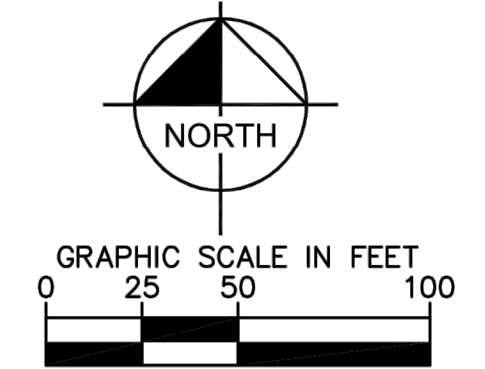
Project Name: IRON POINTE, SEC 1
 Project Number: J-21-065
 Dist. Map No.: 804
 Map Grid No.: IN29_2014
 Lots: 29
 Tax Code: 29007
 Pressure Dist: CE1ST
 Drafter: KIMLEY-HORN/BAH/SM/JRG
 Date: 05/03/2021

Indiana Utilities Protection Service



PCW		02/28/2022		AS BUILTS		DATE		DATE	
Kimley-Horn					© 2021 KIMLEY-HORN AND ASSOCIATES, INC. INDIANAPOLIS, IN 46250 PHONE: 317-912-4129 EMAIL: BAH@kimley-horn.com WWW.KIMLEY-HORN.COM				
SCALE:	AS NOTED	DESIGNED BY: JSM	DRAWN BY: JRG	CHECKED BY: BAH	REVISIONS PER TAC COMMENTS	DATE	DATE	DATE	DATE
WATER PLAN									
IRON POINTE SECTION 1 FISHERS, IN									
ORIGINAL ISSUE: 05/03/2021									
KHA PROJECT NO. 170140002									
SHEET NUMBER									
C700									

Drawing name: K:\IND_L\170140002_Pulte\IronPointe\Fishers\IN\3_Correspondence\From_Others\Adulita\OFFSITE WATER PLAN-06.dwg C701 Mar 17, 2022 3:17pm by: PeteWhite
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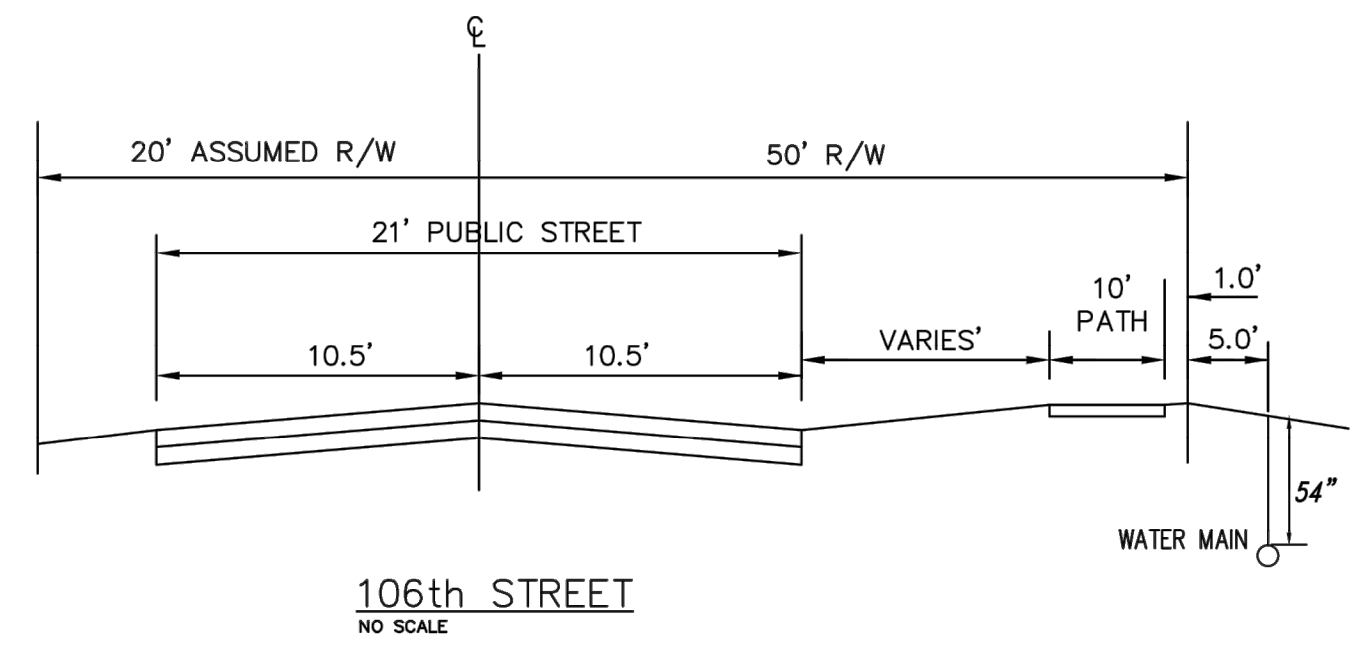
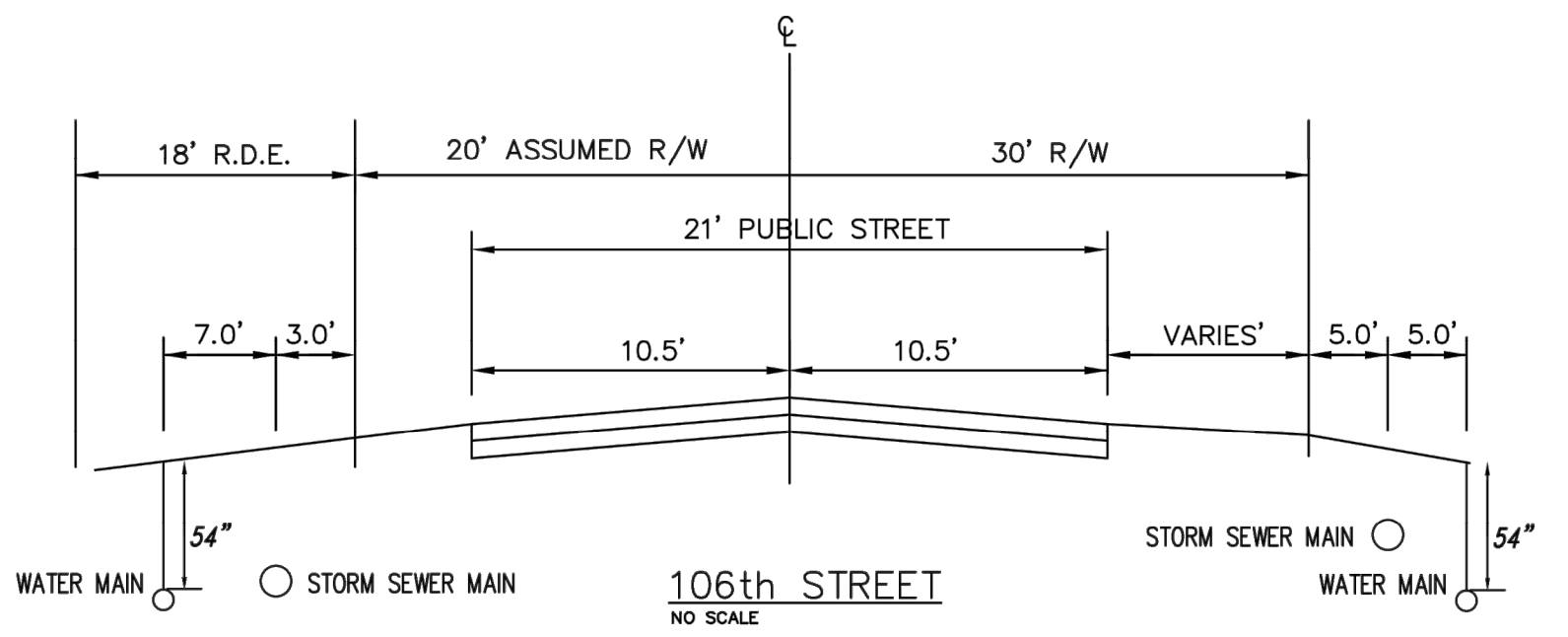
OFFSITE

PROPOSED LEGEND			
	HYDRANT		CROSS
	HYDRANT WITH VALVE		TEE
	VALVE		PLUG
	BEND		PROPOSED SANITARY MANHOLE
	REDUCER		PROPOSED WATER
	BLOWOFF		EXISTING WATER
	THRUST BLOCK		PROPOSED SANITARY SEWER

- | NOTES | |
|-------|--|
| 1. | SEE CITIZENS WATER STANDARDS PRELIMINARY STANDARD PRACTICE AND ENGINEERING REQUIREMENTS FOR THE INSTALLATION OF WATER MAINS, SERVICE LINES, METERS AND APPURTENANCES LATEST VERSION. |
| 2. | MINIMUM COVER OVER TOP OF ALL WATERMAINS TO BE 54" FROM FINISH GRADE. |
| 3. | VALVES ARE TO BE PLACED IN GRASS AREAS. |
| 4. | STANDARD PRACTICE "O" INSTALLATION OF RESTRAINTS MUST BE FOLLOWED DURING CONSTRUCTION OF WATER MAIN. ANY QUESTIONS, ASK CEG INSPECTOR. |
| 5. | ALL WATER MAINS MUST MAINTAIN A MINIMUM OF 10' HORIZONTAL SEPARATION AND A MINIMUM OF 18" VERTICAL SEPARATION FROM ALL SANITARY AND STORM SEWERS. |
| 6. | FIRE HYDRANTS TO REQUIRE STORZ CONNECTIONS. |

CITIZENS WATER PROJECT LEGEND				
IRON POINTE SEC 1 OFFSITE				
Project Number: J-21-066				
JOB #	STREET NAME	Pipe Size	Pipe Type	Total Pipe
1	106TH STREET	12"	D.I.	853' ±7±'
1	106TH STREET	12"	POLY	308' ±16'
1	106TH STREET	12"	D.I.	139' ±4±'
3	IRON POINTE DRIVE	8"	PVC	20' ✓
TOTAL				1320 ±34±'

NOTE: ALL FIRE HYDRANTS SHOWN GRAPHICALLY TO BE INSTALLED BETWEEN CURB AND WALK PER CITIZENS STANDARDS.



Project Name	IRON POINTE Sec 1 OFFSITE
Project Number	J-21-066
Dist. Map No.	804
Map Grid No.	IN29_2014
Lots	0
Tax Code	29007
Pressure Dist	061st
Drafter	KIMLEY-HORN/BAH/JSM/RG
Date	06/17/2021



AS BUILT	3/17/22	PCW	10/22/2021	JSM	10/22/2021
REVISED WATERMAIN PER CITIZENS			09/21/2021	BAH	09/21/2021
UPDATED EASEMENT LABELS			7/21/2021	LH	7/21/2021
REVISIONS PER TAC COMMENTS			DATE	BY	DATE

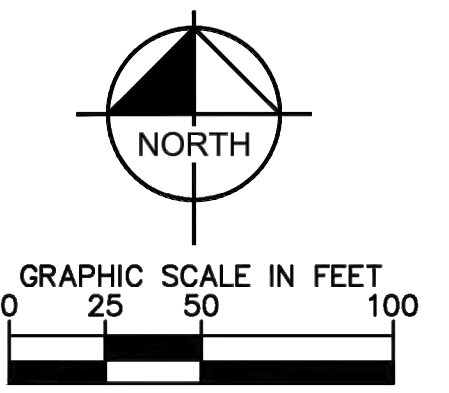
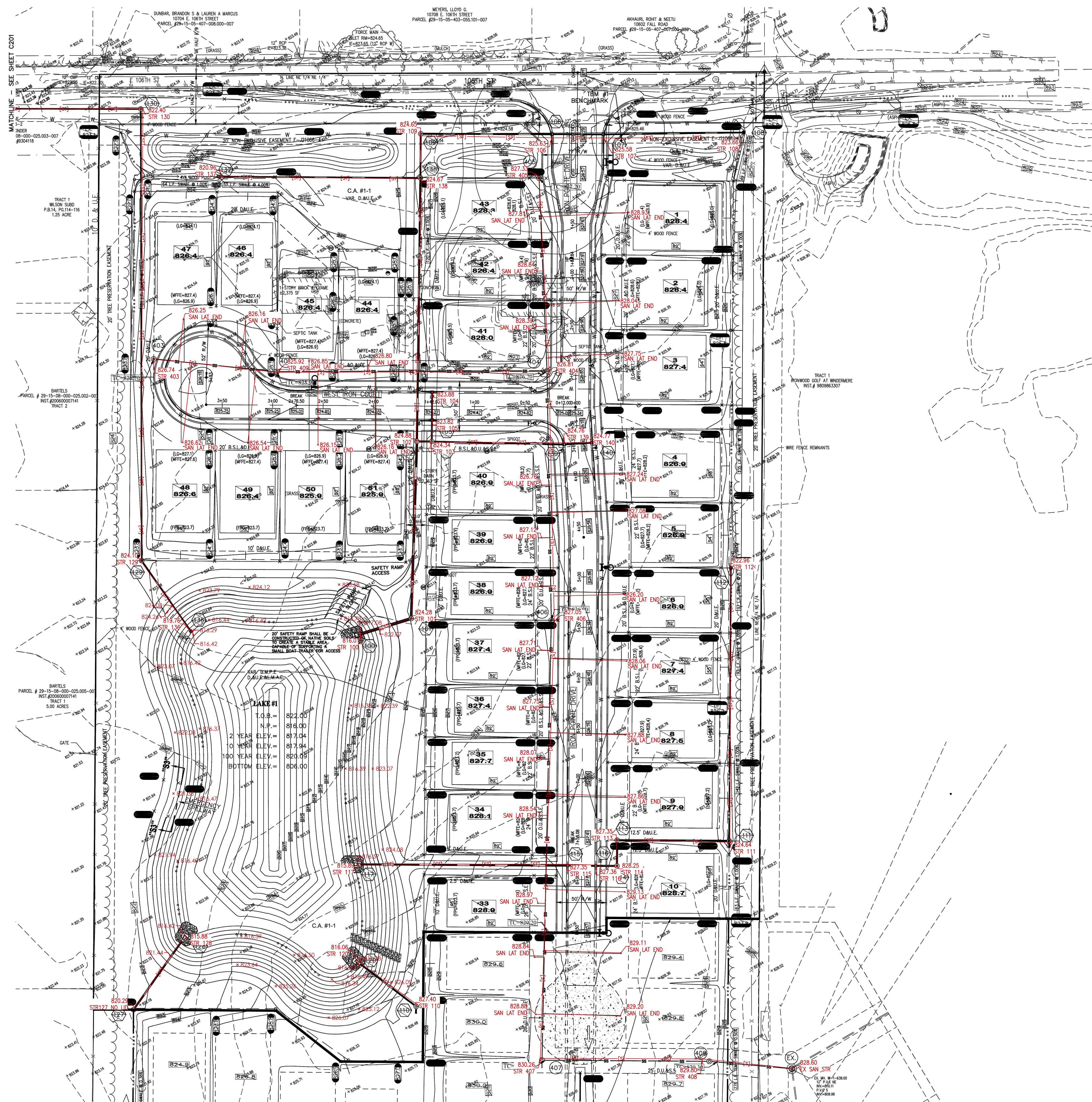
© 2021 KIMLEY-HORN AND ASSOCIATES, INC.
 250 EAST 96TH STREET, SUITE 560,
 INDIANAPOLIS, IN 46240
 PHONE: 317-912-4179
 EMAIL: Pet.Horn@kimley-horn.com
 WWW.KIMLEY-HORN.COM

WATER PLAN

IRON POINTE SECTION 1 FISHERS, IN

ORIGINAL ISSUE: 05/03/2021
 KHA PROJECT NO. 170140002
 SHEET NUMBER C701

Drawing name: K:\IND_DEV\170140002_Pulte\IronPointe_Fishers\IN\2_Design\CADD\PlanSheets\Site Development\Plan\dwg_C200 Jul 20, 2021 2:11pm by: LaseyHarris
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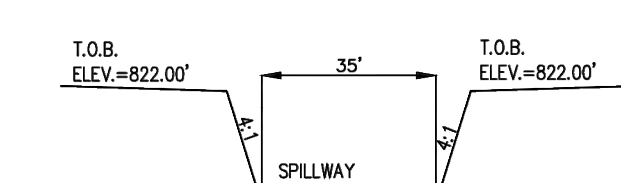
- ### NOTES
1. REFER TO SHEET C201 FOR LEGEND, GRADING NOTES, AND GENERAL NOTES.
 2. REFER TO SHEET C201 FOR STRUCTURE TABLE.
 3. SEE SUBSURFACE DRAIN PLAN (605) FOR MORE DETAILS.
 4. REFER TO FISHERS STANDARD DETAIL SHEET NO. 8 FOR TYPICAL STREET CROSS SECTION DETAIL.

UNLESS APPROVED OTHERWISE BY HSEU, THE FINISHED FLOOR ELEVATIONS ON A PLOT PLAN FOR A LOT IN THIS DEVELOPMENT CANNOT EXCEED THE CORRESPONDING MIN. FINISHED FLOOR ELEVATION (MFFE) SHOWN HEREON BY MORE THAN FIVE TENTHS (0.50) FOOT.

THE DESIGN AND CONSTRUCTION SHALL COMPLY WITH THE CURRENT CITY OF FISHERS CONSTRUCTION SPECIFICATIONS AND STANDARD CONSTRUCTION DETAILS. THE OMISSION OF ANY CURRENT STANDARD DETAIL DOES NOT RELIEVE THE CONTRACTOR FROM THIS REQUIREMENT.

THE DESIGN AND CONSTRUCTION SHALL COMPLY WITH ALL ADA REQUIREMENTS.

SANITARY SEWER UTILITY
 HAMILTON SOUTHEASTERN UTILITIES
 11901 LAKESIDE DRIVE
 FISHERS, IN 46038
 (317)377-2300



SECTION S3-S3 (SPILLWAY)
 NOT TO SCALE

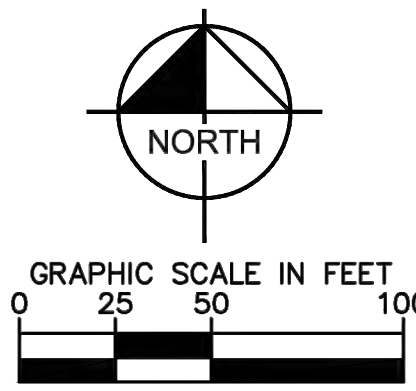
LAKE #1

T.O.B. =	822.00
N.P. =	816.00
2 YEAR ELEV. =	817.04
10 YEAR ELEV. =	817.94
100 YEAR ELEV. =	820.00
BOTTOM ELEV. =	806.00

SEE SHEET C210 FOR OFFSITE GRADING PLAN

SCALE: AS NOTED			SITE DEVELOPMENT PLAN	IRON POINTE SECTION 1 FISHERS, IN	DESIGNED BY: JSM
DRAWN BY: JRG					
CHECKED BY: BAH					
DATE: 6/15/2021					
ORIGINAL ISSUE: 05/03/2021 KHA PROJECT NO. 170140002 SHEET NUMBER C200	REVISIONS:	BY:	DATE:	NO.	

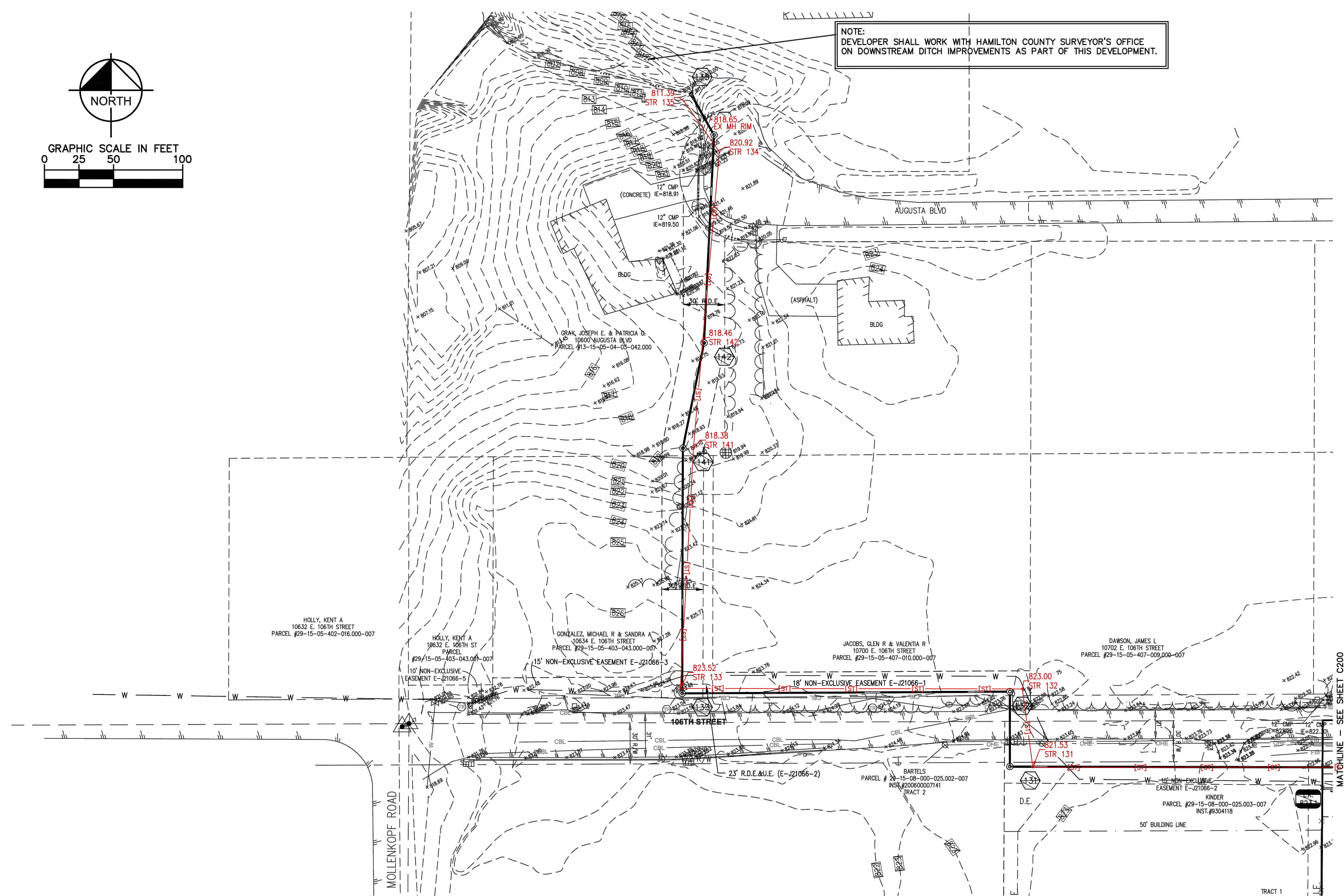




NOTE: DEVELOPER SHALL WORK WITH HAMILTON COUNTY SURVEYOR'S OFFICE ON DOWNSTREAM DITCH IMPROVEMENTS AS PART OF THIS DEVELOPMENT.

LEGEND

	PROPOSED STORM STRUCTURE
	PROPOSED SANITARY MANHOLE
	PROPOSED FIRE HYDRANT ASSEMBLY
	EXISTING CONTOUR
	EXISTING SANITARY SEWER
	EXISTING STORM SEWER
	PROPOSED SANITARY SEWER
	PROPOSED STORM SEWER
	PROPOSED GRADE
	PROPOSED CONTOUR
	PROPOSED WATER LINE
	PROPOSED SWALE
	PROPOSED 5' SIDEWALK (BY HOME BUILDER) (DEVELOPER SHALL INSTALL SIDEWALKS ALONG ALL COMMON AREAS)
	ADA RAMP TO BE INSTALLED
	BENCHMARK
	RIP-RAP
	LOT NUMBER PAD ELEVATION
	LG = XXXX DENOTES LOWEST ADJACENT GRADE LOCAL PONDING PROTECTION ELEVATION
	FG = XXXX DENOTES FLOOD PROTECTION GRADE GRADE FOR LOTS ADJACENT TO BODIES OF WATER
	M.F.F.E = XXXX DENOTES MIN. FINISHED FLOOR ELEVATION: 1. (1) FOOT ABOVE THE NEAREST UPSTREAM OR DOWNSTREAM MANHOLE, WHICHEVER IS LOWEST. 2. 15" (1.25') ABOVE THE ROAD ELEV. 3. 6" (0.5') ABOVE THE LG.
	EMERGENCY FLOOD FLOW ROUTE



GENERAL NOTES

- NOT ALL GAS, POWER, OR TELEPHONE LINES, WHETHER ABOVE OR BELOW GROUND, HAVE BEEN SHOWN ON THE DRAWINGS. ANY UNDERGROUND INFORMATION SHOWN ON THE DRAWINGS HAS BEEN DETERMINED FROM THE BEST AVAILABLE INFORMATION AND IS GIVEN FOR THE CONTRACTOR'S BENEFIT. THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR PROTECTING ALL UTILITIES IN HIS WORK AREA WHETHER SHOWN OR NOT, AND MUST REALIZE THAT THE ACTUAL LOCATION OF THE UTILITIES MAY BE DIFFERENT FROM THAT SHOWN ON THE DRAWINGS. ALL EXISTING UTILITIES ENCOUNTERED IN THE WORK, WHETHER IN PUBLIC RIGHTS OF WAY OR ON PRIVATE PROPERTY, SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN IN SERVICE ANY UTILITIES WHICH CAN BE REMOVED DURING CONSTRUCTION WITHOUT UNDUE INTERRUPTION TO SERVICE MAY BE REMOVED AND REPLACED BY THE CONTRACTOR WITH THE PERMISSION OF UTILITY. IF MINOR CONFLICTS ARISE, THE CONTRACTOR MAY SHIFT THE PROPOSED LOCATION OF THE INSTALLATION OF THE WORK. BEFORE WORKING WITH OR AROUND UTILITIES, THE APPLICABLE UTILITY COMPANY SHALL BE NOTIFIED BY THE CONTRACTOR.
- SAFETY PROVISIONS FOR THE WORK SHALL BE IN FULL COMPLIANCE WITH ALL APPLICABLE RULES AND REGULATIONS OF THE INDIANA OSHA AND ANY OTHER LOCAL, STATE, OR FEDERAL AGENCY HAVING JURISDICTION. IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. CONTRACTOR SHALL AT MINIMUM, PROVIDE TRAFFIC CONTROL REQUIRED TO SAFELY PROTECT THE GENERAL PUBLIC, THE CONTRACTOR'S WORK FORCES AND THE WORK. TRAFFIC CONTROL SHALL CONFORM TO THE REQUIREMENTS OF THE LATEST EDITION OF THE INDIANA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, AND THE INDIANA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS, SPECIAL PROVISIONS, STANDARD DETAILS AND GENERAL INSTRUCTIONS TO FIELD EMPLOYEES. THE REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT TO BE LIMITED TO NORMAL WORKING HOURS. THE OPTION OF THE OWNER AND/OR ENGINEER TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE THE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE. CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING ALL BARRICADES, FENCES, WARNING SIGNS, FLASHING LIGHTS, TEMPORARY WALKWAYS, AND TRAFFIC CONTROL DURING CONSTRUCTION. CONTRACTOR TO COMPLY WITH ALL OSHA REGULATIONS, REQUIREMENTS, SAFETY MEETING REQUIREMENTS AND AGENCY REQUIREMENTS FOR TRAFFIC CONTROL AND SAFETY PRECAUTIONS. THERE WILL BE NO SEPARATE OR ADDITIONAL PAYMENT FOR THIS WORK.
- WHERE PROPERTY MARKERS, SECTION CORNERS, SURVEY MARKS OR BENCHMARKS, SUCH AS STONES, PIPES, OR OTHER SUCH MONUMENTS ARE ENCOUNTERED AND CONFLICT WITH THE WORK, THE ENGINEER SHALL BE NOTIFIED BEFORE THEY ARE DISTURBED. THE MARKERS SHALL BE PROTECTED AFTER THE OWNER, ENGINEER, AND AUTHORIZED SURVEYOR OR AGENT HAS WITNESSED OR REFERENCED THEIR LOCATIONS.
- ALL MATERIALS DENOTED "SALVAGED" SHALL BE STORED AND PROTECTED AT THE SITE FOR THE OWNER TO COLLECT OR FOR THE CONTRACTOR TO RE-USE AS INDICATED.
- THERE SHALL BE NO CHANGES WITHOUT WRITTEN APPROVAL OF ENGINEER.
- ALL GRADES AT BOUNDARY SHALL MEET EXISTING GRADES.
- CONTRACTOR SHALL MINIMIZE DAMAGE TO EXISTING TREES.
- REMOVE AND BACKFILL ALL AREAS WHERE ANY FIELD TILE CROSSES PROPOSED HOUSE PADS. ALL FIELD TILES INTERCEPTED TO BE PERPETUATED INTO STORM SEWER SYSTEM OR LAKE. THE SUBCONTRACTOR SHALL NOTIFY IN WRITING THE OWNER AND THE ENGINEER IN ANY CIRCUMSTANCES WHERE THIS CANNOT BE ACCOMPLISHED.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY ALL UTILITY LOCATIONS.
- CONTRACTOR SHALL STAMP THE LETTER "S" IN THE CURB PERPENDICULAR TO THE LATERAL MARKER.
- STRUCTURES RECEIVING SUB-SURFACE DRAIN (SSD) SHALL HAVE BOTH PORTS CORE DRILLED. "T" OR "Y" BLIND CONNECTIONS ARE NOT ALLOWED.
- ALL STORM SEWER CASTINGS SHALL BE LABELED "DUMP NO WASTE-DRAINS TO WATERWAY."
- STRUCTURE FILL: SHALL BE COMPACTED TO AT LEAST 95% STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D-698). SHALL BE FREE OF ORGANIC MATERIAL, DEBRIS, DELETERIOUS MATERIALS AND FROZEN SOLIDS.
- THE CITY OF FISHERS REQUIRES THAT THE DEVELOPERS PROVIDE INDOT APPROVED SNOWPLOWABLE RAISED PAVEMENT MARKERS (WITH BLUE REFLECTOR LENS) ADJACENT TO THE FIRE HYDRANT LOCATIONS. THE MARKERS SHALL BE INSTALLED ON THE CENTERLINE OF THE ROADWAY ONCE THE PAVEMENT SURFACE HAS BEEN PLACED. THE INSTALLATION AND MATERIAL OF THE SNOWPLOWABLE RAISED PAVEMENT MARKERS SHALL COMPLY WITH SECTION 800 AND 900 OF THE MOST RECENT VERSION OF THE INDOT SPECIFICATIONS AND STANDARD DRAWINGS. UNDER NO CIRCUMSTANCE SHALL THE TOWN ALLOW THE INSTALLATION OF A REFLECTOR THAT IS ONLY ATTACHED TO THE PAVEMENT SURFACE USING ADHESIVE.
- ALL ROADS MUST BE BROUGHT BACK TO ORIGINAL OR BETTER CONDITION, INCLUDING BUT NOT LIMITED TO STRIPING, STONE SHOULDERS, AND SIGNAGE. REPAIRS (I.E. STRIPING) SHALL COINCIDE WITH ADJOINING ROAD.
- CLAY POND LINERS ARE REQUIRED IF SIGNIFICANT SAND OR GRAVEL STRATIFICATIONS ARE ENCOUNTERED DURING EXCAVATION OF POND.
- ALL COMMON AREA SIDEWALK OR PATHS ARE TO BE CONSTRUCTED AS PART OF THE SITE INFRASTRUCTURE. INDIVIDUAL LOT SIDEWALKS TO BE CONSTRUCTED AT THE TIME OF HOME CONSTRUCTION.
- SAFETY RAMP FOR ALL LAKES SHALL BE CONSTRUCTED OF STRUCTURAL FILL MATERIAL (SEE NOTE #13 ABOVE) TO PREVENT STRUCTURAL INSTABILITY DUE TO VEHICLES AND WAVE ACTION.

STORM SEWER STRUCTURE DATA TABLE

STR. NO.	STR. TYPE - CASTING TYPE	T.O.R.	INCOMING PIPE DATA	OUTGOING PIPE DATA
100	30" FLARED END SECTION	817.62	30" R.C.P. (E) INV.=816.00	
101	TYPE "C" MH - NEENAH R-1772	824.08	24" R.C.P. (N) INV.=816.28	30" R.C.P. (W) INV.=816.18
102	TYPE "C" MH - NEENAH R-1772	824.68	18" R.C.P. (E) INV.=818.00 18" R.C.P. (N) INV.=818.00	24" R.C.P. (S) INV.=817.90
103	TYPE "C" MH - NEENAH R-1772	825.02	15" R.C.P. (N) INV.=819.55 15" R.C.P. (E) INV.=818.55	18" R.C.P. (W) INV.=818.45
104	TYPE "A" INLET - NEENAH R-3501-N	824.34		15" R.C.P. (S) INV.=820.30
105	TYPE "A" INLET - NEENAH R-3501-N	824.31	15" R.C.P. (N) INV.=820.16	15" R.C.P. (S) INV.=820.06
106	TYPE "A" INLET - NEENAH R-3501-N	826.06	12" R.C.P. (E) INV.=819.82	15" R.C.P. (W) INV.=819.72
107	TYPE "A" INLET - NEENAH R-3501-N	826.07	12" R.C.P. (E) INV.=820.06	15" R.C.P. (W) INV.=819.96
108	TYPE "A" INLET - NEENAH R-4342	823.53		12" R.C.P. (W) INV.=820.50
109	TYPE "C" MH - NEENAH R-4342	824.57	15" R.C.P. (E) INV.=819.20	15" R.C.P. (S) INV.=819.10
110	TYPE "C" MH - NEENAH R-1772	827.36	15" R.C.P. (S) INV.=816.37	15" R.C.P. (NW) INV.=816.23
111	TYPE "C" MH - NEENAH R-4342	824.78	12" R.C.P. (N) INV.=819.10 15" R.C.P. (E) INV.=819.10	18" R.C.P. (W) INV.=819.00
112	TYPE "A" INLET - NEENAH R-4342	823.15		12" R.C.P. (S) INV.=820.00
113	TYPE "C" MH - NEENAH R-1772	827.79	18" R.C.P. (E) INV.=818.55	18" R.C.P. (S) INV.=818.45
114	TYPE "C" MH - NEENAH R-1772	828.31	18" R.C.P. (N) INV.=818.37	18" R.C.P. (W) INV.=818.27
115	TYPE "C" MH - NEENAH R-3501-N	827.77	18" R.C.P. (E) INV.=817.90	18" R.C.P. (W) INV.=817.80
116	TYPE "C" MH - NEENAH R-3501-N	827.74	18" R.C.P. (E) INV.=818.19	18" R.C.P. (W) INV.=818.09
117	18" FLARED END SECTION	819.62	18" R.C.P. (E) INV.=816.00	
120	15" FLARED END SECTION	819.62	15" R.C.P. (SE) INV.=816.00	
127	TYPE "C" MH - NEENAH R-4342	821.28		18" R.C.P. (NE) INV.=816.50
128	18" FLARED END SECTION	819.62	18" R.C.P. (SW) INV.=816.00	
129	TYPE "C" MH - NEENAH R-1772	823.82	12" R.C.P. (SE) INV.=815.74	12" R.C.P. (N) INV.=815.74
130	TYPE "C" MH - NEENAH R-1772	822.82	12" R.C.P. (S) INV.=814.40	12" R.C.P. (W) INV.=814.40

STORM SEWER STRUCTURE DATA TABLE

STR. NO.	STR. TYPE - CASTING TYPE	T.O.R.	INCOMING PIPE DATA	OUTGOING PIPE DATA
131	TYPE "C" MH - NEENAH R-1772	822.00	12" R.C.P. (E) INV.=813.60	12" R.C.P. (N) INV.=813.60
132	TYPE "C" MH - NEENAH R-1772	823.09	12" R.C.P. (S) INV.=813.44	12" R.C.P. (W) INV.=813.44
133	TYPE "C" MH - NEENAH R-1772	823.40	12" R.C.P. (E) INV.=812.73	12" R.C.P. (N) INV.=812.73
134	TYPE "C" MH - NEENAH R-1772	819.56	12" R.C.P. (S) INV.=811.52	12" R.C.P. (NW) INV.=811.52
135	12" FLARED END SECTION	817.64	12" R.C.P. (SE) INV.=811.39	
136	WET BOTTOM DETENTION BASIN OUTLET			12" R.C.P. (NW) INV.=816.00
137	12" FLARED END SECTION W/ DEBRIS GUARD	822.25		12" R.C.P. (E) INV.=821.00
138	TYPE "C" MH - NEENAH R-4342	824.61	15" R.C.P. (N) INV.=818.90 12" R.C.P. (W) INV.=819.00	18" R.C.P. (S) INV.=818.90
139	TYPE "A" INLET - NEENAH R-3501-N	825.18	15" R.C.P. (E) INV.=820.76	15" R.C.P. (W) INV.=820.66
140	TYPE "A" INLET - NEENAH R-3501-N	825.16		15" R.C.P. (W) INV.=820.90
141	TYPE "C" MH - NEENAH R-4342	819.04	12" R.C.P. (S) INV.=812.20	12" R.C.P. (N) INV.=812.20
142	TYPE "C" MH - NEENAH R-4342	819.24	12" R.C.P. (S) INV.=811.97	12" R.C.P. (N) INV.=811.97

SANITARY SEWER STRUCTURE DATA TABLE

STR. NO.	STR. TYPE / CASTING TYPE	T.O.R.	INCOMING PIPE DATA	OUTGOING PIPE DATA
EX. MH W-1-638.00	48" SAN MH / Standard	827.40	8" S.D.R. 26 PVC (W) INV.=810.31	
403	48" SAN MH / R-1772	826.70		8" S.D.R. 26 PVC (E) INV.=819.07
404	48" SAN MH / R-1772	826.70	8" S.D.R. 26 PVC (W) INV.=815.40 8" S.D.R. 26 PVC (N) INV.=815.30	8" S.D.R. 26 PVC (S) INV.=815.20
405	48" SAN MH / R-1772	827.20		8" S.D.R. 26 PVC (S) INV.=819.12
406	48" SAN MH / R-1772	826.90	8" S.D.R. 26 PVC (N) INV.=814.17	8" S.D.R. 26 PVC (S) INV.=814.03
407	48" SAN MH / R-1772	830.30	8" S.D.R. 26 PVC (N) INV.=812.28	8" S.D.R. 26 PVC (E) INV.=812.00
408	48" SAN MH / R-1772	830.00	8" S.D.R. 26 PVC (W) INV.=811.21	8" S.D.R. 26 PVC (E) INV.=811.11
409	48" SAN MH / R-1772	825.90	8" S.D.R. 26 PVC (W) INV.=816.62	8" S.D.R. 26 PVC (E) INV.=816.52

BENCHMARK INFO

HSE BENCHMARK #3
 BENCHMARK IS: HSE DISC IN CONCRETE ON WEST SIDE OF WINDERMERE POINTE ENTRANCE FROM 106TH STREET, SOUTH SIDE OF ENTRANCE WALL AT ANGLE BREAK IN SIDEWALK, 93.4' S OF THE CENTERLINE OF 106TH AND 33' W OF NW CORNER OF BRICK MEDIAN SIGN.

ELEV. = 826.29' (NAVD 88)
 CORNER NUMBER 17058011
 HARRISON SET IN CENTER OF EAST 106TH STREET AND MOLLENKOPF ROAD, 60.56' FROM A CUT "X" IN THE S.W. BOLT OF THE STOP LIGHT BASE; 49.74' FROM A PK NAIL WITH WASHER SET IN THE BASE OF THE STOP LIGHT; 62.38' FROM A PK NAIL WITH WASHER SET IN THE BASE OF THE STOP LIGHT; 18.79' FROM A CUT "X" IN THE S.W. BOLT OF THE STOP LIGHT BASE.
 ELEV. = 819.77' (NAVD 1988)

TBM #1
 RAILROAD SPIKE IN POWER POLE ON 106TH STREET, 725'± EAST OF MOLLENKOPF ROAD
 ELEV. = 824.50' (NAVD 88)

TBM #2
 TOP OF CASTING ON EXIST SAN MH W-1-615.00, SOUTH SIDE OF FAIRWOOD DRIVE CULDESAC
 ELEV. = 830.69' (NAVD 88)

UNLESS APPROVED OTHERWISE BY HSEU, THE FINISHED FLOOR ELEVATIONS ON A PLOT PLAN FOR A LOT IN THIS DEVELOPMENT CANNOT EXCEED THE CORRESPONDING MIN. FINISHED FLOOR ELEVATION (MFFE) SHOWN HEREON BY MORE THAN FIVE TENTHS (0.50) FOOT.

THE DESIGN AND CONSTRUCTION SHALL COMPLY WITH THE CURRENT CITY OF FISHERS CONSTRUCTION SPECIFICATIONS AND STANDARD CONSTRUCTION DETAILS. THE OMISSION OF ANY CURRENT STANDARD DETAIL DOES NOT RELIEVE THE CONTRACTOR FROM THIS REQUIREMENT.

THE DESIGN AND CONSTRUCTION SHALL COMPLY WITH ALL ADA REQUIREMENTS.

SANITARY SEWER UTILITY
 HAMILTON SOUTHEASTERN UTILITIES
 11601 LAKESIDE DRIVE
 FISHERS, IN 46038
 (317)577-2300

AS NOTED	DESIGNED BY: JSM	DRAWN BY: JRG	CHECKED BY: BAH
SCALE:	NO. PE10608045	SHEET NO. 1	DATE: 6/15/2021
SITE DEVELOPMENT PLAN			
IRON POINTE SECTION 1 FISHERS, IN			
ORIGINAL ISSUE:	05/03/2021	KHA PROJECT NO.	170140002
SHEET NUMBER		C201	

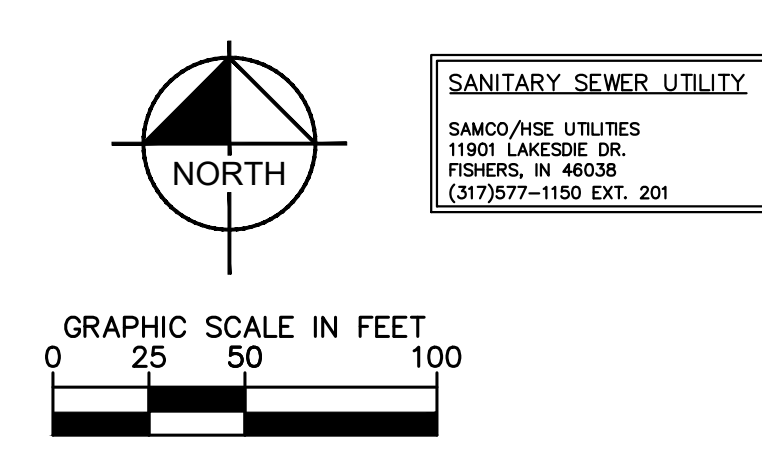
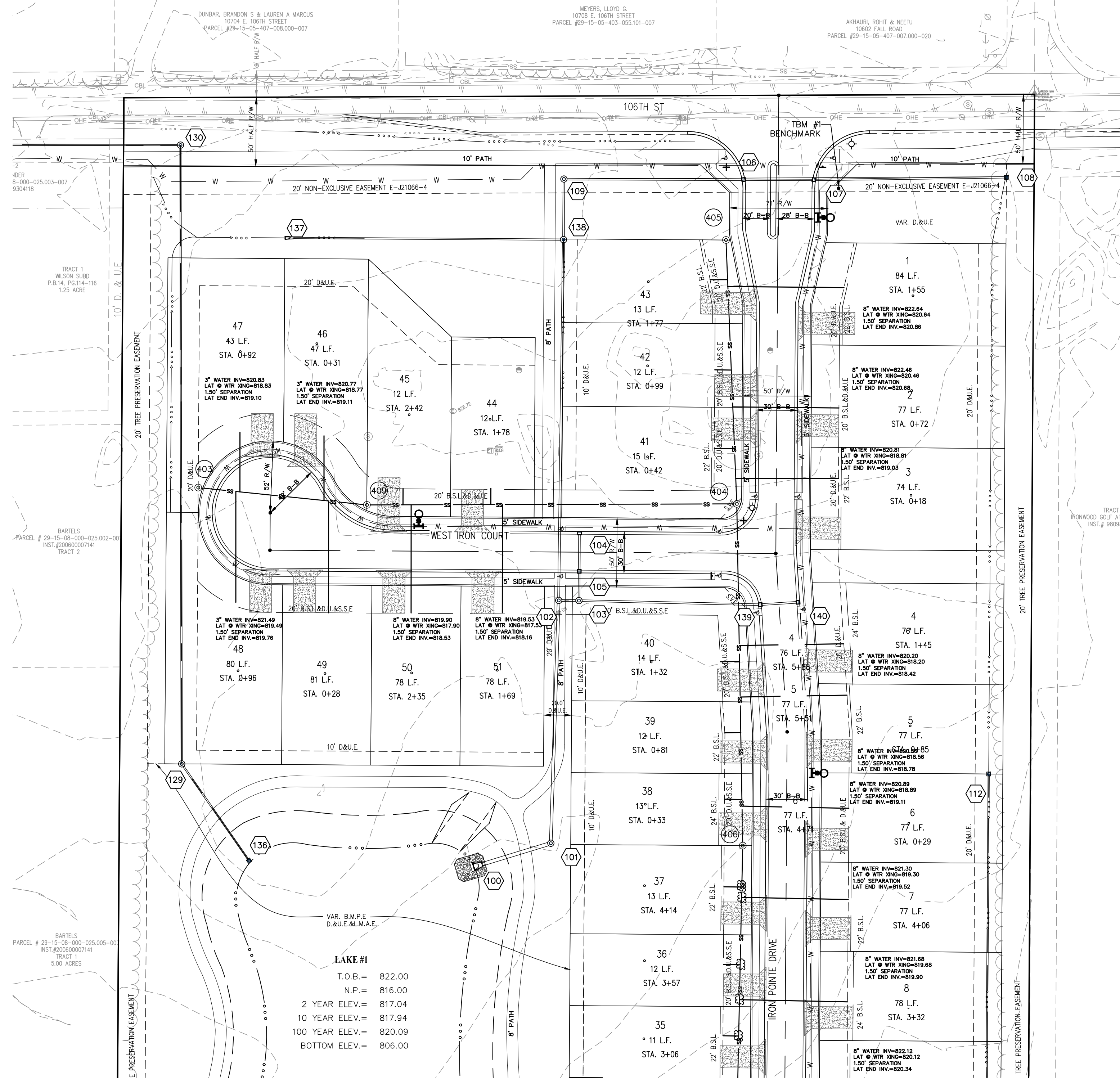
Indiana Utilities Protection Service

Call 811

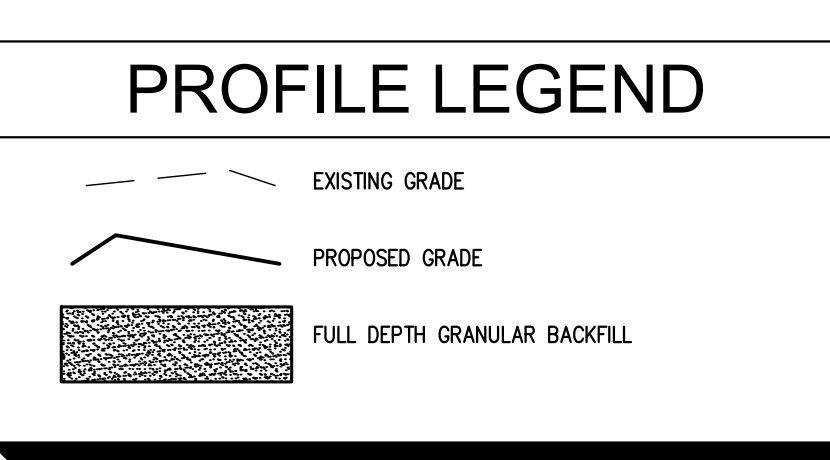
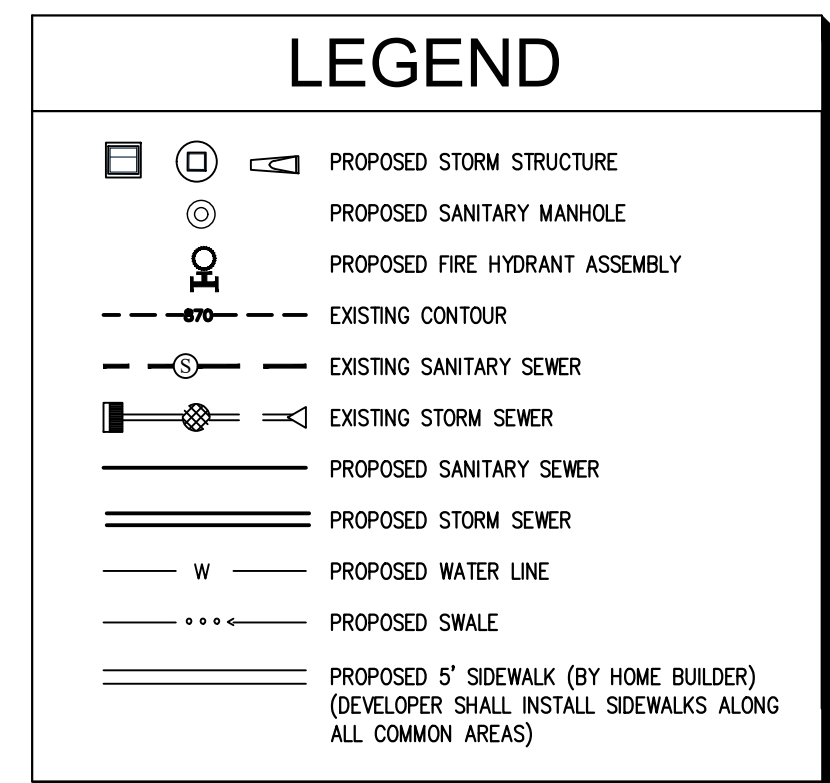
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Drawing name: K:\NO_DRAWING\170140002_Pulte\IronPointe_Site Development Plan.dwg C201 Jul 20, 2021 2:10pm by: LaseyHarris
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Drawing name: K:\IND\170140002_Plan\IronPointe_Fishers_IN\2 Design\CADD\PlanSheets\Sanitary_Plan and Profile.dwg C500 Jul 20, 2021 2:18pm by: Loaystarris
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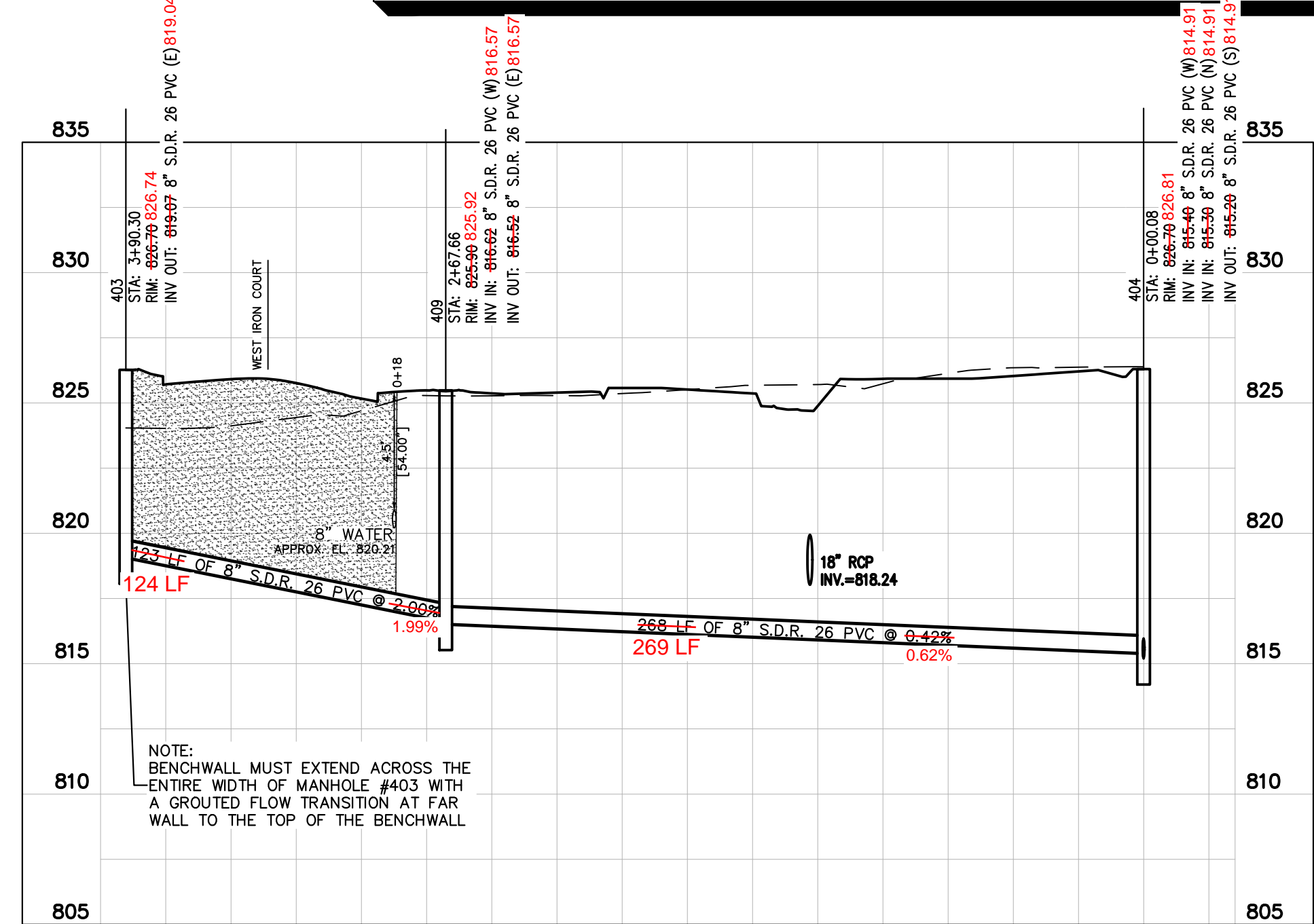
SANITARY SEWER UTILITY
 SAMCO/USE UTILITIES
 11901 LAKESIDE DR.
 FISHERS, IN 46038
 (317)577-1150 EXT. 201



BENCHMARK INFO

HSE BENCHMARK #3
 BENCHMARK IS: HSE DISC IN CONCRETE ON WEST SIDE OF WINDERMERE POINT
 ENTRANCE FROM 106TH STREET, SOUTH SIDE OF ENTRANCE WALL AT ANGLE BREAK
 IN SIDEWALK. 93.4' S OF THE CENTERLINE OF 106TH AND 33' W OF NW CORNER OF
 BRICK MEDIAN SIGN.
 ELEV. = 826.29' (NAVD 88)
 CORNER NUMBER 17050811
 HARRISON SET IN CENTER OF EAST 106TH STREET AND MOLLENKOPF ROAD. 60.58'
 FROM A CUT "X" IN THE S.W. BOLT OF THE STOP LIGHT BASE; 49.74' FROM A PK
 NAIL WITH WASHER SET IN THE BASE OF THE STOP LIGHT; 52.38' FROM A PK NAIL
 WITH WASHER SET IN THE BASE OF THE STOP LIGHT; 18.79' FROM A CUT "X" IN
 THE S.W. BOLT OF THE STOP LIGHT BASE.
 ELEV. = 819.77' (NAVD 1988)
 TBM #1
 5/8"x30" REBAR WITH CAP
 IN FRONT OF ENTRY MONUMENT COLUMN IN LANDSCAPED AREA
 ELEV. = 826.4' (NAVD 88)
 TBM #2
 TOP OF CASTING ON EXIST SAN MH W-1-615.00,
 SOUTH SIDE OF FAIRWOOD DRIVE CULDESAC
 ELEV. = 830.69' (NAVD 88)

- ### SANITARY NOTES
- FULL DEPTH GRANULAR BACKFILL SHALL BE INSTALLED FOR ALL SEWER LATERAL STREET CROSSINGS AND COMPACTED PER INDOT STANDARDS.
 - SANITARY SEWER TOP OF CASTINGS MAY NEED TO BE ELEVATED AFTER FINAL GRADING TO INSURE DRAINAGE AWAY FROM STRUCTURES.
 - MANHOLES SHALL NOT BE PLACED IN PAVEMENT OR CONCRETE. (INCLUDES DRIVEWAYS AND SIDEWALKS)
 - ALL LATERALS SHALL TERMINATE WITHIN A SANITARY SEWER EASEMENT.
 - MIN. SLOPES PER THE RECOMMENDED TEN STATE STANDARDS SHALL PREVAIL IN ALL CASES.
 - PAVEMENT OR CONCRETE, INCLUDING DRIVEWAYS AND SIDEWALKS, MUST NOT BE CONSTRUCTED ON OR WITHIN ONE (1) FOOT HORIZONTAL DISTANCE OF SANITARY SEWER CASTINGS.
 - SANITARY SEWER FACILITIES, INCLUDING MAINS AND LATERALS, MUST MAINTAIN FIVE (5) FEET OF COVER FROM THE TOP OF PIPE TO GRADE. IF ADEQUATE COVER CAN NOT BE MAINTAINED, THEN CONCRETE CAPPING MUST BE INSTALLED WHEN COVER IS FOUR (4) TO (5) FEET AND CONCRETE ENCASEMENT MUST BE INSTALLED WHEN COVER IS THREE (3) TO FOUR (4) FEET. UNDER NO CIRCUMSTANCES WILL COVER BE PERMITTED TO BE LESS THAN THREE (3) FEET.
 - A MIN. OF TEN (10) FEET OF SEPARATION SHALL BE MAINTAINED BETWEEN SANITARY SEWER LATERALS AND STORM SEWERS.
 - AT THE INSPECTORS DISCRETION, A CONCRETE CRADLE MAY BE REQUIRED FOR ALL LATERAL/UTILITY CROSSINGS.
 - A SANITARY SEWER CONSTRUCTION PERMIT SHALL NOT BE GRANTED TO HOMES OR BUILDINGS WHERE THE LOWEST ELEVATION TO HAVE GRAVITY SANITARY SERVICES IS LESS THAN ONE (1) FOOT ABOVE THE LOWEST TOP OF CASTING ELEVATION OF EITHER THE FIRST UPSTREAM OR DOWNSTREAM MANHOLE ON THE PUBLIC SEWER TO WHICH THE CONNECTION IS TO BE MADE.
 - FOUNDING, EVEN WHEN CROSSING 90 DEGREES, MUST NOT BE CONSTRUCTED DIRECTLY OVER SANITARY SEWER FACILITIES.
 - LIGHTING, FENCING, SIGNAGE, RETAINING WALLS, LANDSCAPING, ENTRANCE WALLS, IRRIGATION LINES, ETC. MUST BE DESIGNED TO MAINTAIN A MIN. HORIZONTAL SEPARATION OF TEN (10) FEET (POSSIBLY FURTHER DEPENDING ON DEPTH) FROM THE CENTER OF SANITARY SEWER FACILITIES.
 - TREES MUST BE PLANTED TO MAINTAIN A MIN. HORIZONTAL SEPARATION OF TEN (10) FEET BETWEEN THE CENTER OF SANITARY SEWER FACILITIES AND THE CENTER OF THE TREE.
 - ALL ROUGH GRADING MUST BE FINISHED TO WITHIN ONE (1) FOOT OF FINAL GRADE PRIOR TO THE START OF CONSTRUCTION OF THE SANITARY SEWER INFRASTRUCTURE, INCLUDING ALL FUTURE LOTS ADJACENT TO OFFSITE SEWER TO PREVENT EARTH MOVING EQUIPMENT FROM CROSSING THE SANITARY SEWER.
 - DEPENDING ON THE ORIENTATION OF THE STEPS RELATIVE TO THE PIPING OF THE EXISTING MANHOLE, THE STEPS MAY NEED TO BE RELOCATED. FOR SPECIFIC INSTRUCTIONS CONCERNING ORIENTATION OF THE STEPS, CONTACT TOM KALLIO OF H.S.E. @ (317) 577-1150.
 - ALL BENCH WALLS SHALL EXTEND TO THE CROWN OF THE HIGHEST INFLUENT PIPE.
 - NO TREES, SHRUBBERY OR SIMILAR GROWTHS SHALL BE PLANTED, OR ALLOWED TO GROW, DIRECTLY OVER OR WITHIN TEN (10) FEET HORIZONTAL DISTANCE MEASURED FROM THE CENTERLINE OF THE PLANTING TO SANITARY SEWER MAINS, LATERALS, BUILDING SEWERS OR MANHOLES.
 - MANHOLE OR CLEANOUT CASTINGS MAY NEED TO BE ELEVATED AFTER FINAL GRADING TO INSURE DRAINAGE AWAY FROM STRUCTURES.
 - CONTRACTOR MUST FIELD VERIFY INVERT ELEVATIONS OF EXISTING MANHOLE PRIOR TO CONSTRUCTION. IF A VARIATION EXISTS, THEN CONTACT SAMCO.
 - CONTRACTOR SHALL STAMP THE LETTER "S" IN THE CURB PERPENDICULAR TO THE LATER MARKER.
 - ALL TREES AND BRUSH MUST BE REMOVED WITHIN THE ENTIRE LIMITS OF THE SANITARY SEWER EASEMENT.
 - THE TEE WYES LOCATED ON THE SANITARY SEWER MAINLINE MUST BE DESIGNATED AND INSTALLED TO OBTAIN A 1:1 RATIO AWAY FROM MANHOLE STRUCTURES (DEPTH OF MANHOLE; DISTANCE OF TEE WYE FROM MANHOLE), DUE TO PROBLEMS ENCOUNTERED IN THE FIELD WITH THE TEE WYES FAILING WHEN LOCATED IN THE OVER DIG OF MANHOLES.



SAN 403 - 404
 H:1"=50 ; V:1"=5

Indiana Utilities Protection Service



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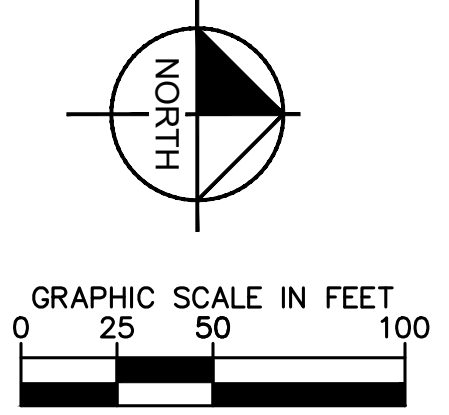
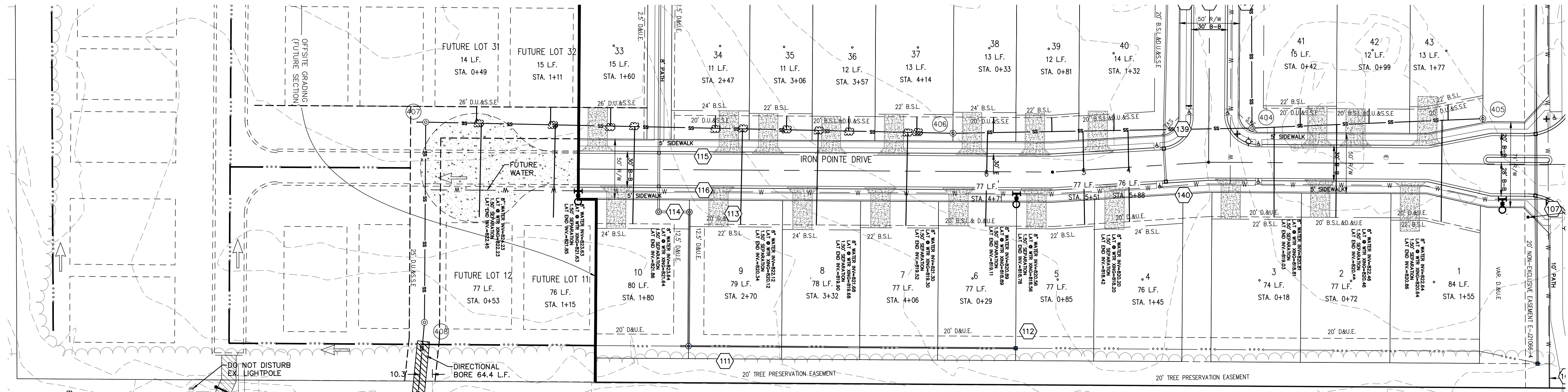
SANITARY PLAN AND PROFILE
IRON POINTE SECTION 1 FISHERS, IN
 ORIGINAL ISSUE: 05/03/2021
 KHA PROJECT NO. 170140002
 SHEET NUMBER C500

Kimley-Horn
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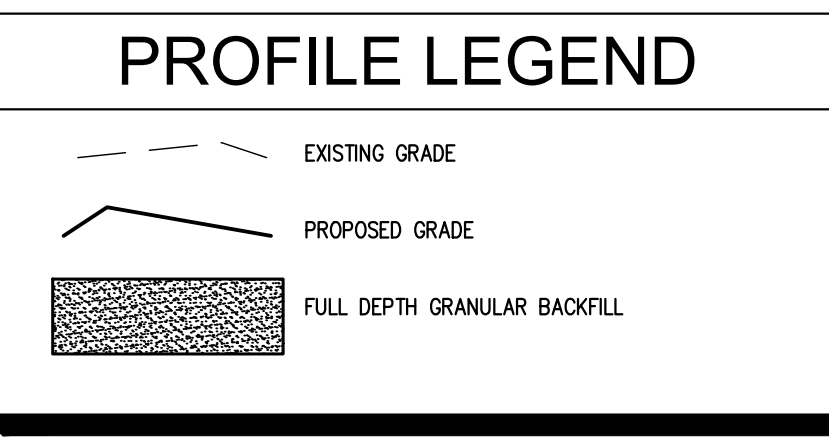
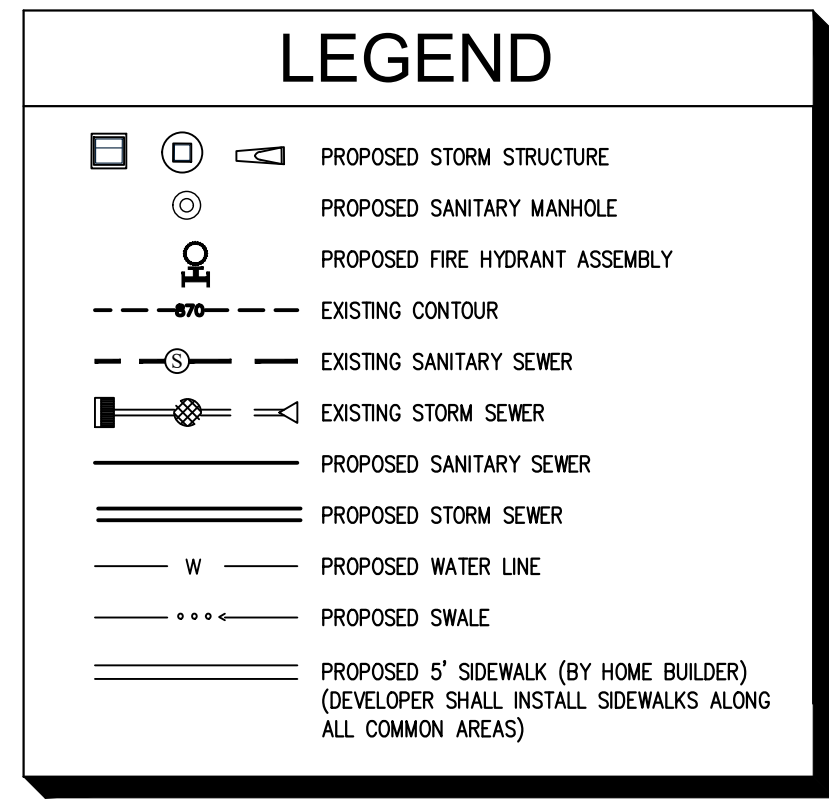
AS NOTED
 DESIGNED BY: JSM
 DRAWN BY: JRG
 CHECKED BY: BAH
 SCALE: PE1006045
 No. PE1006045
 STATE OF INDIANA
 PROFESSIONAL ENGINEER
 6/15/2021

PulteGroup

Drawing name: K:\IND_LDEV\170140002_Pulte\IronPointe\Sanitary Plan and Profile.dwg C501 Jul 20, 2021 2:18pm by: Loopylarris
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SANITARY SEWER UTILITY
 SAMCO/HSE UTILITIES
 1190 LAKESIDE DR.
 FISHERS, IN 46038
 (317)577-1150 EXT. 201



NOTES

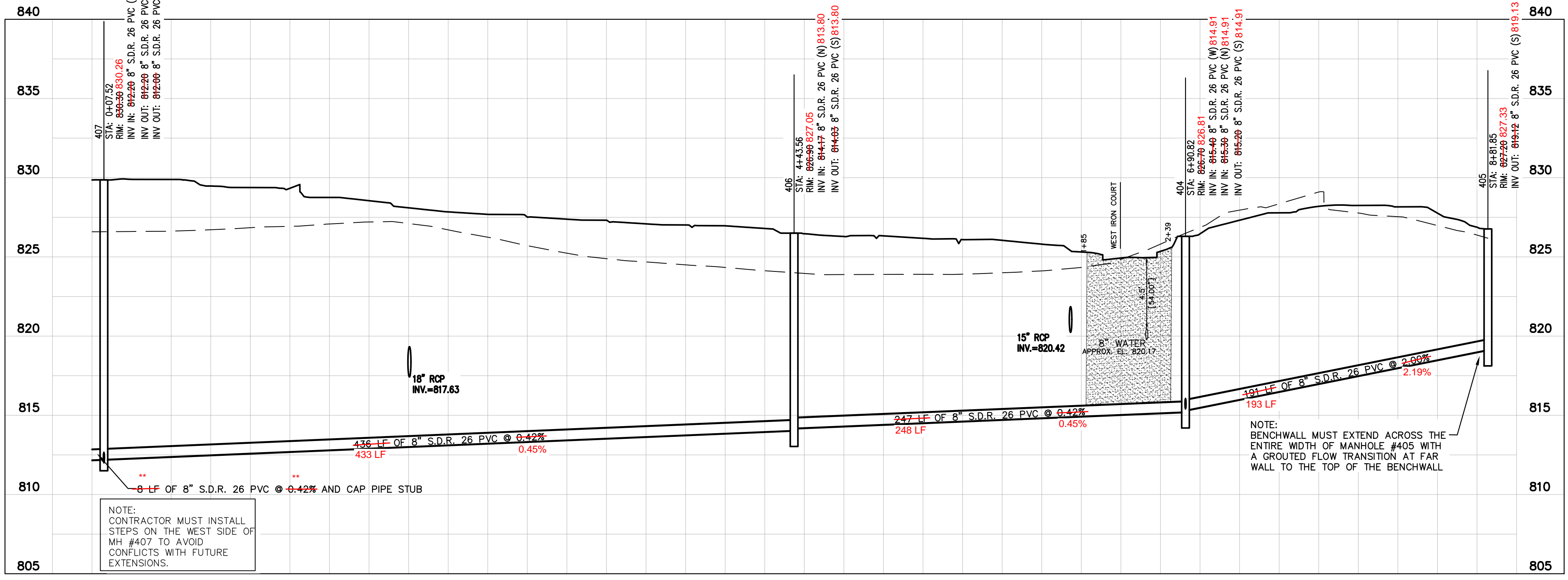
- SEE C500 FOR SANITARY SEWER NOTES.
- SEE C801-803 FOR SANITARY DETAILS.

BENCHMARK INFO

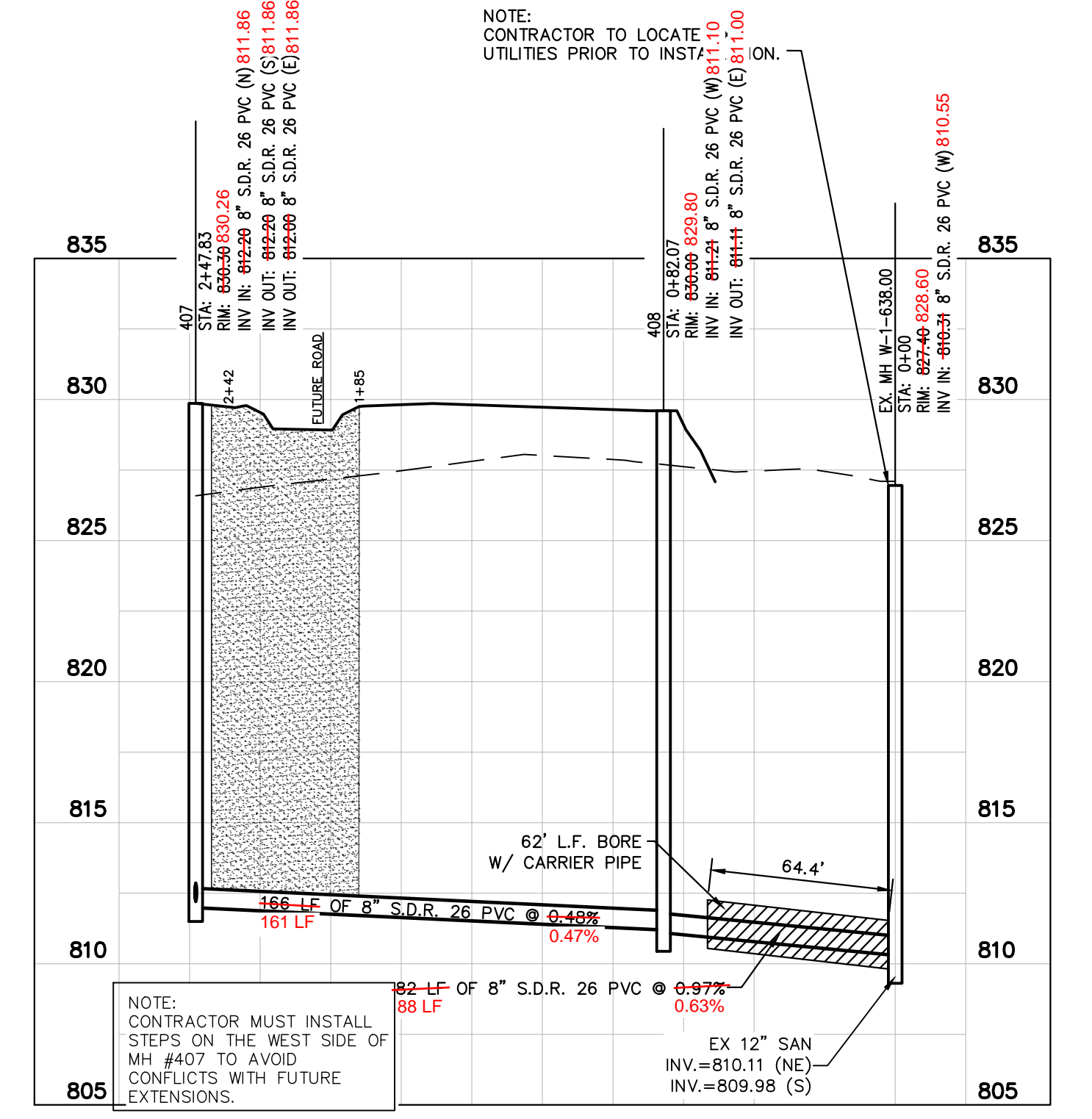
HSE BENCHMARK #3
 BENCHMARK IS: HSE DISC IN CONCRETE ON WEST SIDE OF WINDERMERE POINTE ENTRANCE FROM 106TH STREET, SOUTH SIDE OF ENTRANCE WALL AT ANGLE BREAK IN SIDEWALK, 93.4' S OF THE CENTERLINE OF 106TH AND 33' W OF NW CORNER OF BRICK MEDIAN SIGN.
 ELEV. = 826.29' (NAVD 88)
 CORNER NUMBER 17050811
 HARRISON SET IN CENTER OF EAST 106TH STREET AND MOLLENKOPF ROAD, 60.58' FROM A CUT "X" IN THE S.W. BOLT OF THE STOP LIGHT BASE; 49.74' FROM A PK NAIL WITH WASHER SET IN THE BASE OF THE STOP LIGHT; 52.38' FROM A PK NAIL WITH WASHER SET IN THE BASE OF THE STOP LIGHT; 18.79' FROM A CUT "X" IN THE S.W. BOLT OF THE STOP LIGHT BASE.
 ELEV. = 819.77' (NAVD 1988)
 TBM #1
 5/8"x30" REBAR WITH CAP
 IN FRONT OF ENTRY MONUMENT COLUMN IN LANDSCAPED AREA
 ELEV. = 826.4' (NAVD 88)
 TBM #2
 TOP OF CASTING ON EXIST SAN MH W-1-615.00,
 SOUTH SIDE OF FAIRWOOD DRIVE CULDESAC
 ELEV. = 830.69' (NAVD 88)



☐ DENOTES SANITARY LATERAL WYES TO BE CONCRETE CAPPED. LOTS TO INCLUDE 7-10,33-37, FUTURE LOTS 11-12, 31-32



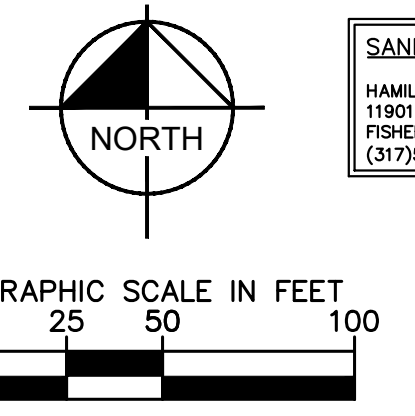
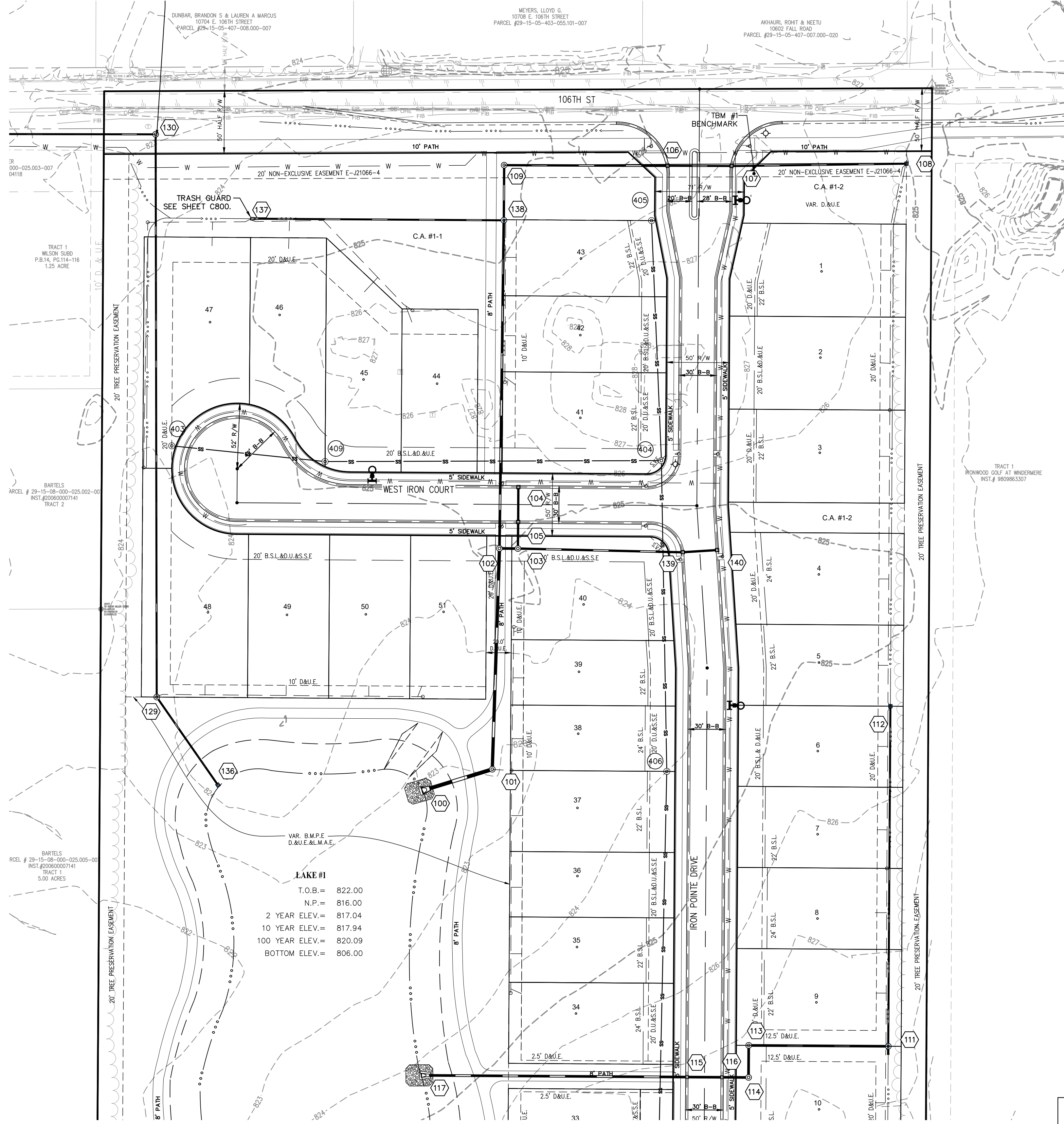
SAN 405 - 407
 H: 1"=50 ; V: 1"=5



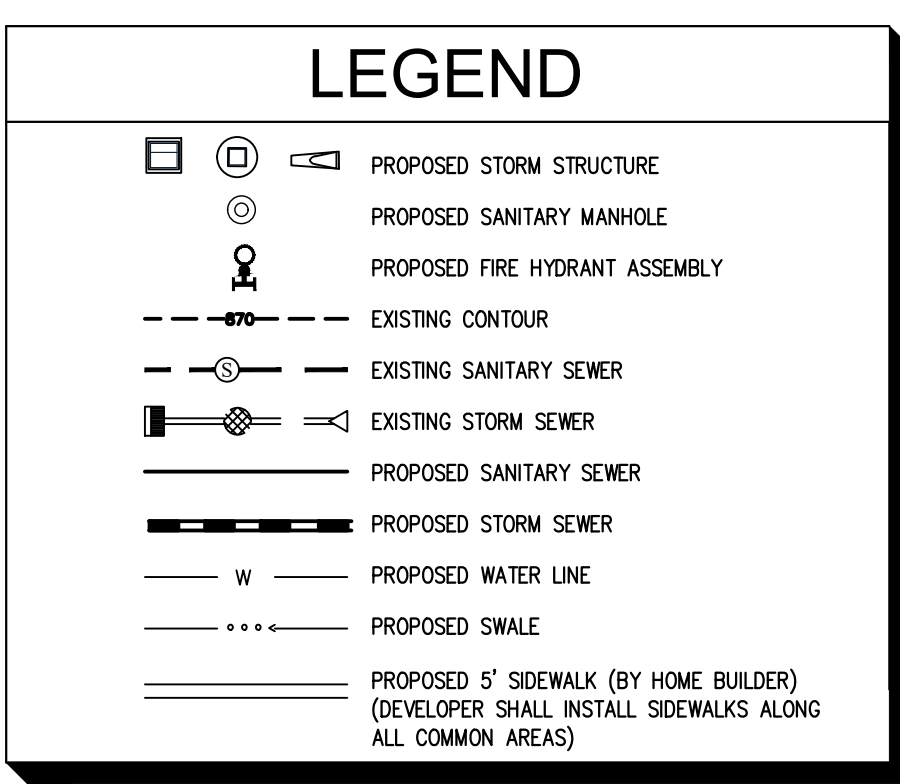
SAN 407 - EX
 H: 1"=50 ; V: 1"=5

AS NOTED	DESIGNED BY: JSM	CHECKED BY: BAH
NO. 1	DATE	BY
© 2021 KIMLEY-HORN AND ASSOCIATES, INC. 250 EAST 96TH STREET, SUITE 580, INDIANAPOLIS, IN 46240 PHONE: 317-912-4129 EMAIL: Brl.H@kimley-horn.com WWW.KIMLEY-HORN.COM		
Indiana Utilities Protection Service 		
<h2>SANITARY PLAN AND PROFILE</h2>		
<h3>IRON POINTE SECTION 1 FISHERS, IN</h3>		
ORIGINAL ISSUE: 05/03/2021 KHA PROJECT NO. 170140002 SHEET NUMBER C501		

Drawing name: K:\IND_DEV\170140002_Pulte\IronPointe\Storm Plan and Profile.dwg C600 Jun 20, 2021 2:20pm by: Leo/Harris
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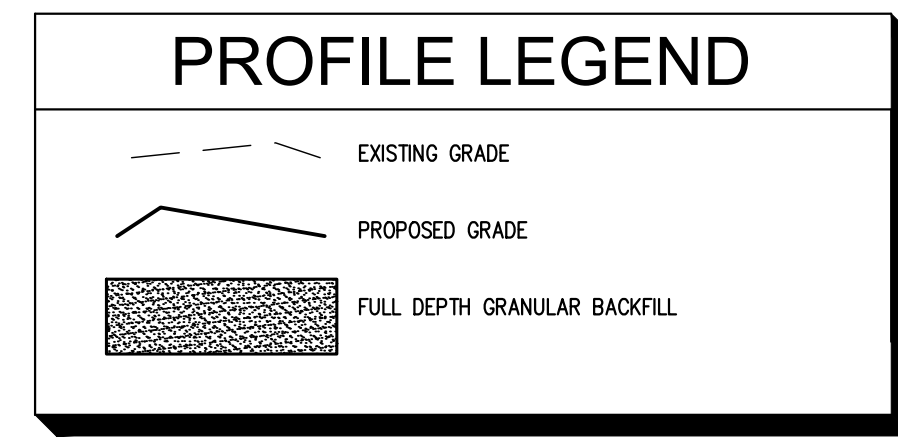


SANITARY SEWER UTILITY
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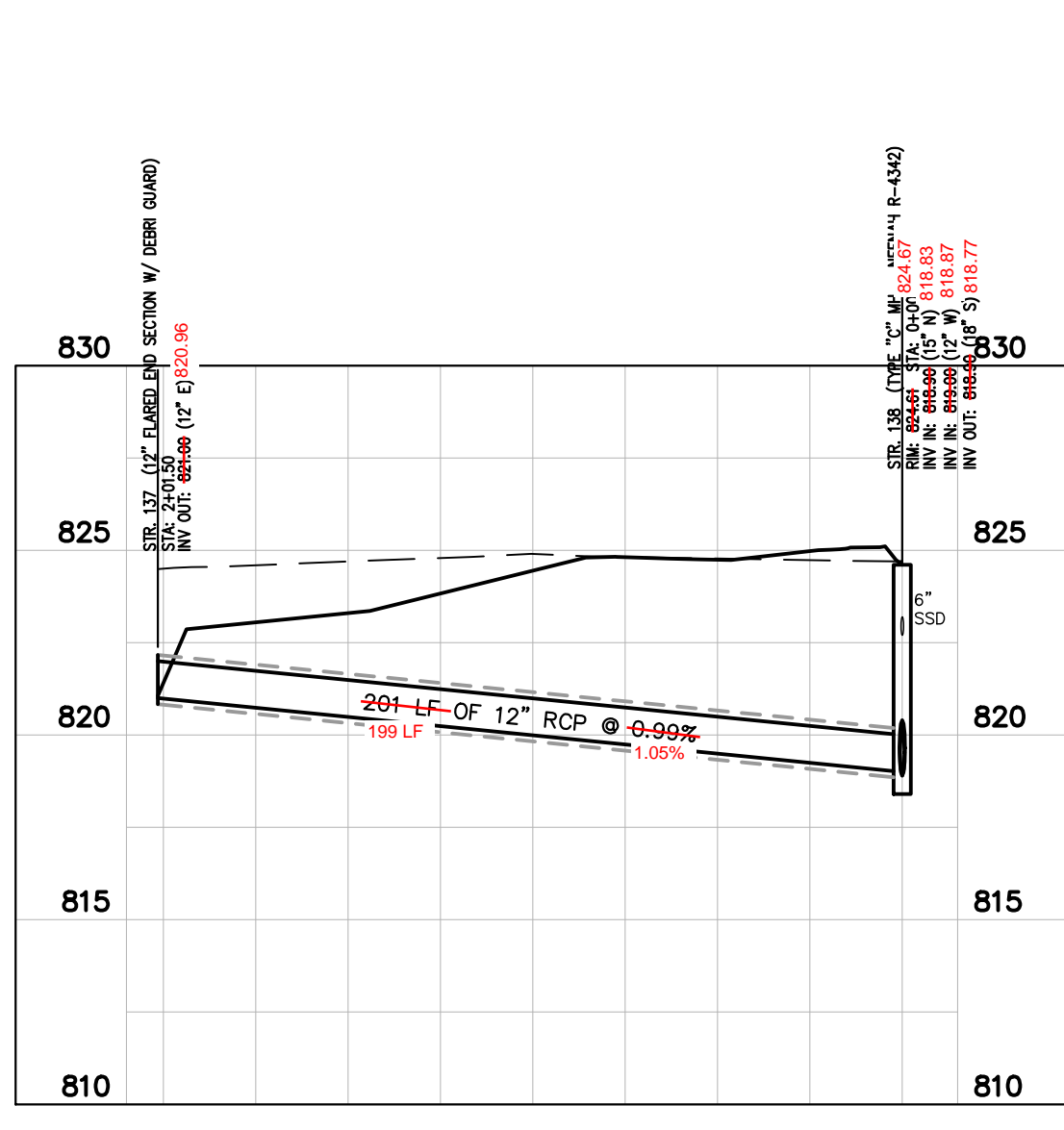
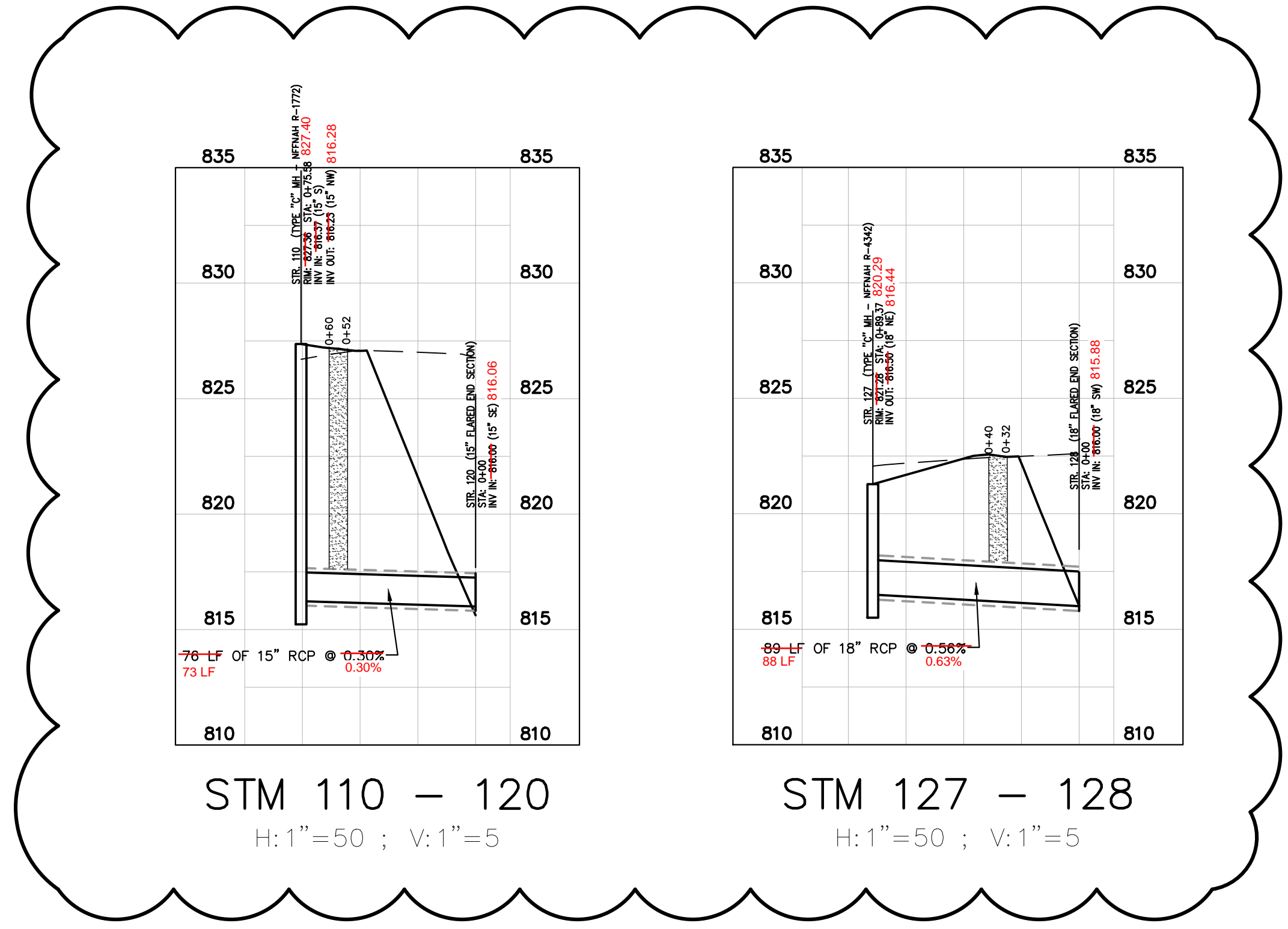


LAKE #1

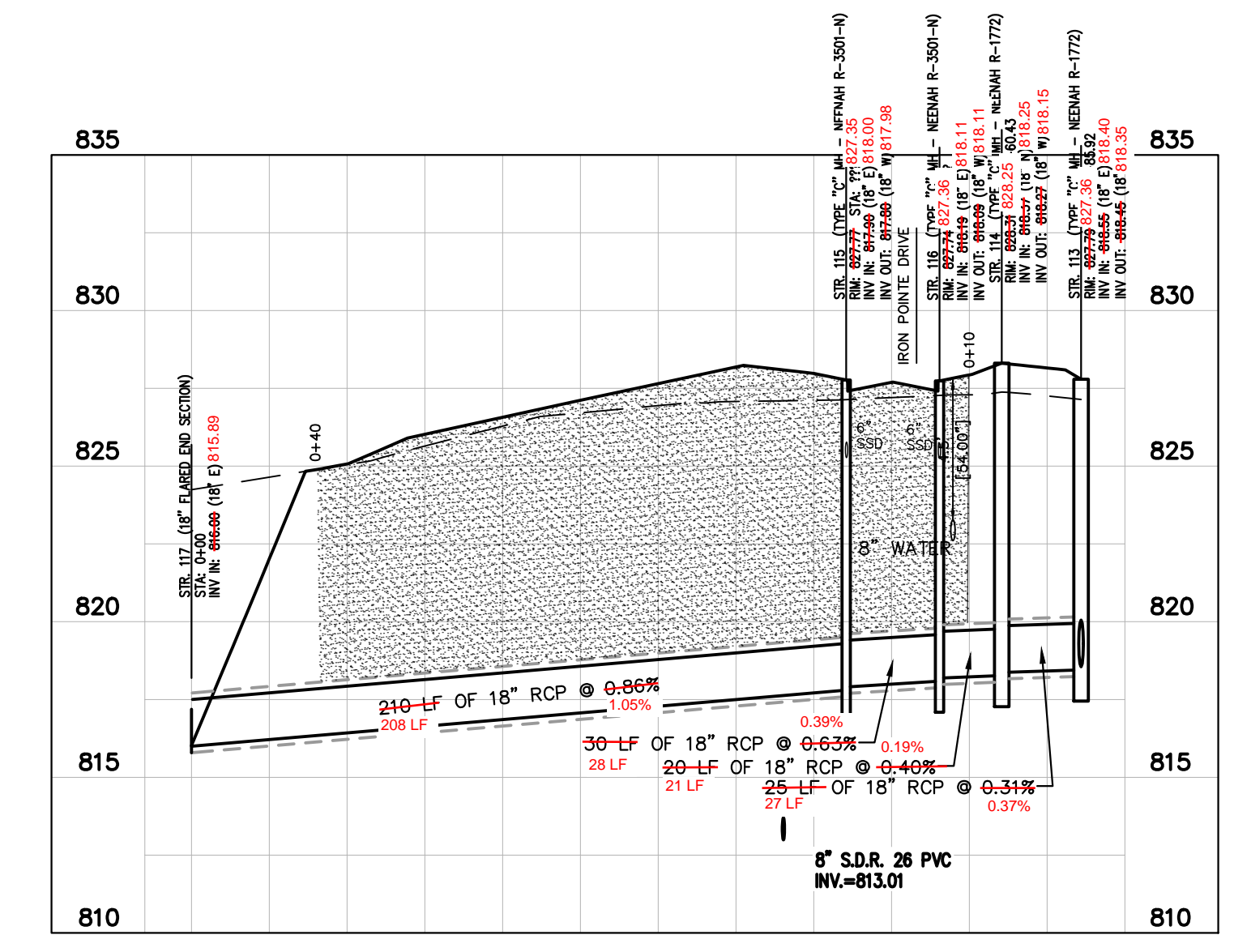
T.O.B.	=	822.00
N.P.	=	816.00
2 YEAR ELEV.	=	817.04
10 YEAR ELEV.	=	817.94
100 YEAR ELEV.	=	820.09
BOTTOM ELEV.	=	806.00



- GENERAL NOTES**
- STRUCTURES RECEIVING SUB-SURFACE DRAIN (SSD) SHALL HAVE BOTH PORTS CORE DRILLED. "T" OR "Y" BLIND CONNECTIONS ARE NOT ALLOWED.
 - ALL STORM SEWER CASTINGS SHALL BE LABELED "DUMP NO WASTE- DRAINS TO WATERWAY".
 - EXCEPT FOR FORCE MAINS, CONTRACTOR TO INSTALL CONCRETE CRADLES WHEN THE VERTICAL SEPARATION (AS MEASURED FROM THE EXTERIOR OF THE PIPE) BETWEEN SANITARY SEWER FACILITIES AND STORM SEWER IS 18" OR LESS.



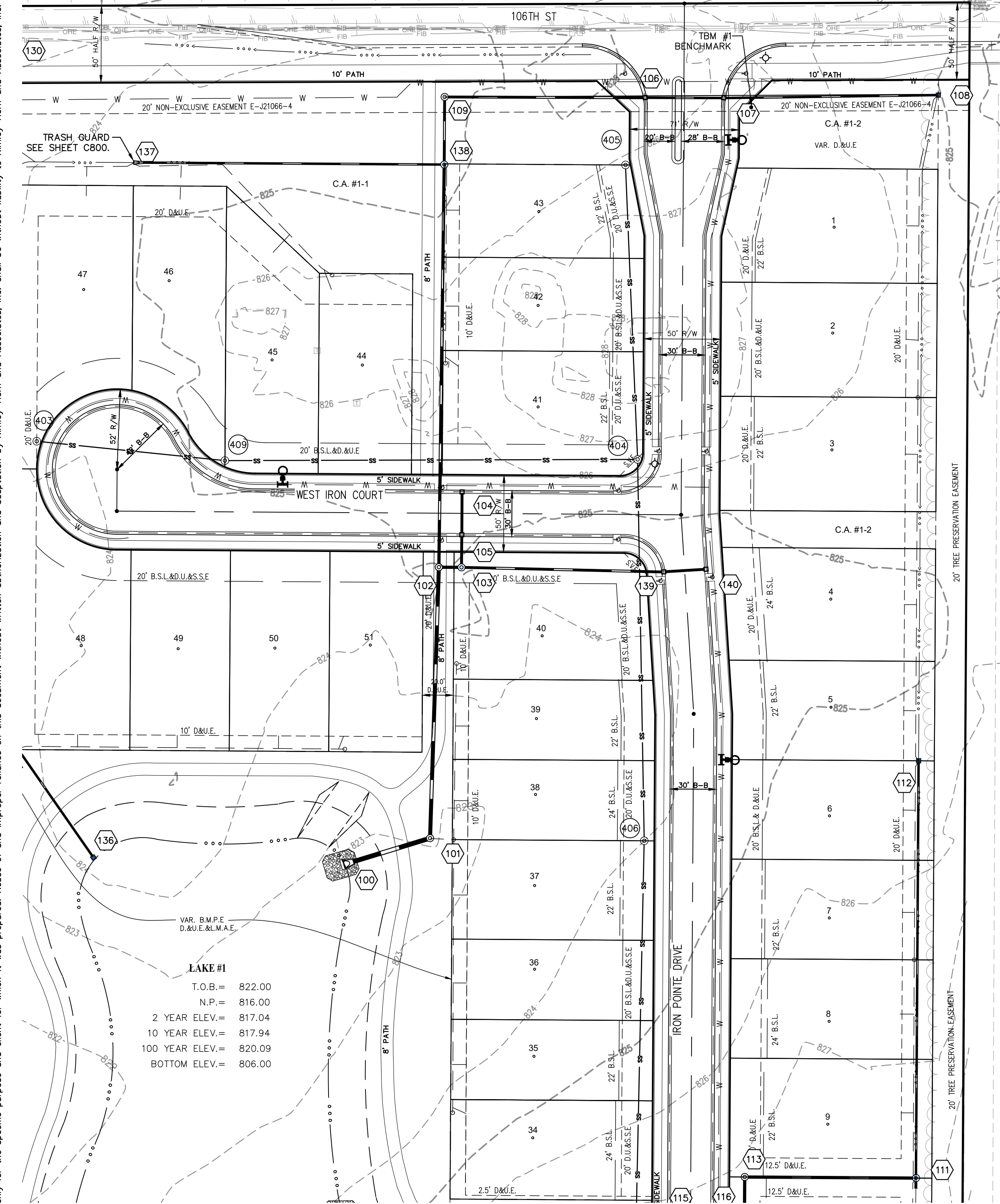
STM 137 - 138
 H:1"=50 ; V:1"=5



STM 113 - 117
 H:1"=50 ; V:1"=5

AS NOTED	DESIGNED BY: JSM			IRON POINTE SECTION 1 FISHERS, IN	DATE	
SCALE:	DRAWN BY: JRG				NO.	BY
	CHECKED BY: BAH				REV.	
ORIGINAL ISSUE: 05/03/2021		KHA PROJECT NO. 170140002		SHEET NUMBER C600		

Drawing name: K:\IND_DEV\170140002_Pulte\IronPointe_Fishers\IN\2 Design\CADD\PlanSheets\Storm Plan and Profile.dwg C001 Jul 20, 2021 2:20pm by LeezyHorn
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LAKE #1

T.O.B. =	822.00
N.P. =	816.00
2 YEAR ELEV. =	817.04
10 YEAR ELEV. =	817.94
100 YEAR ELEV. =	820.09
BOTTOM ELEV. =	806.00

SANITARY SEWER UTILITY
 HAMILTON SOUTHEASTERN UTILITIES
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LEGEND

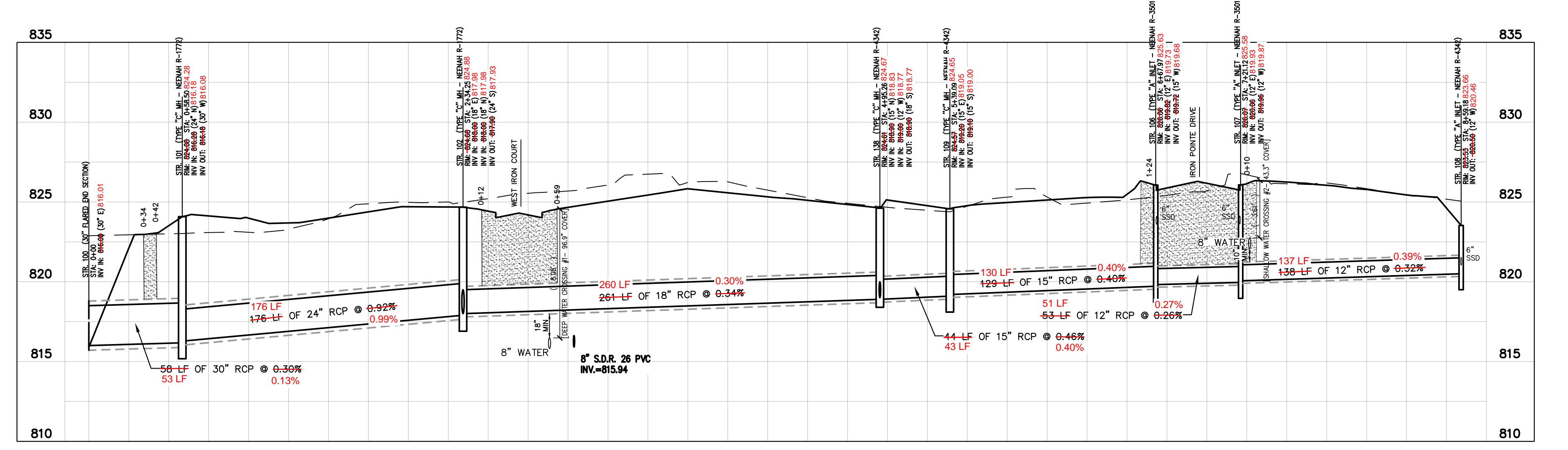
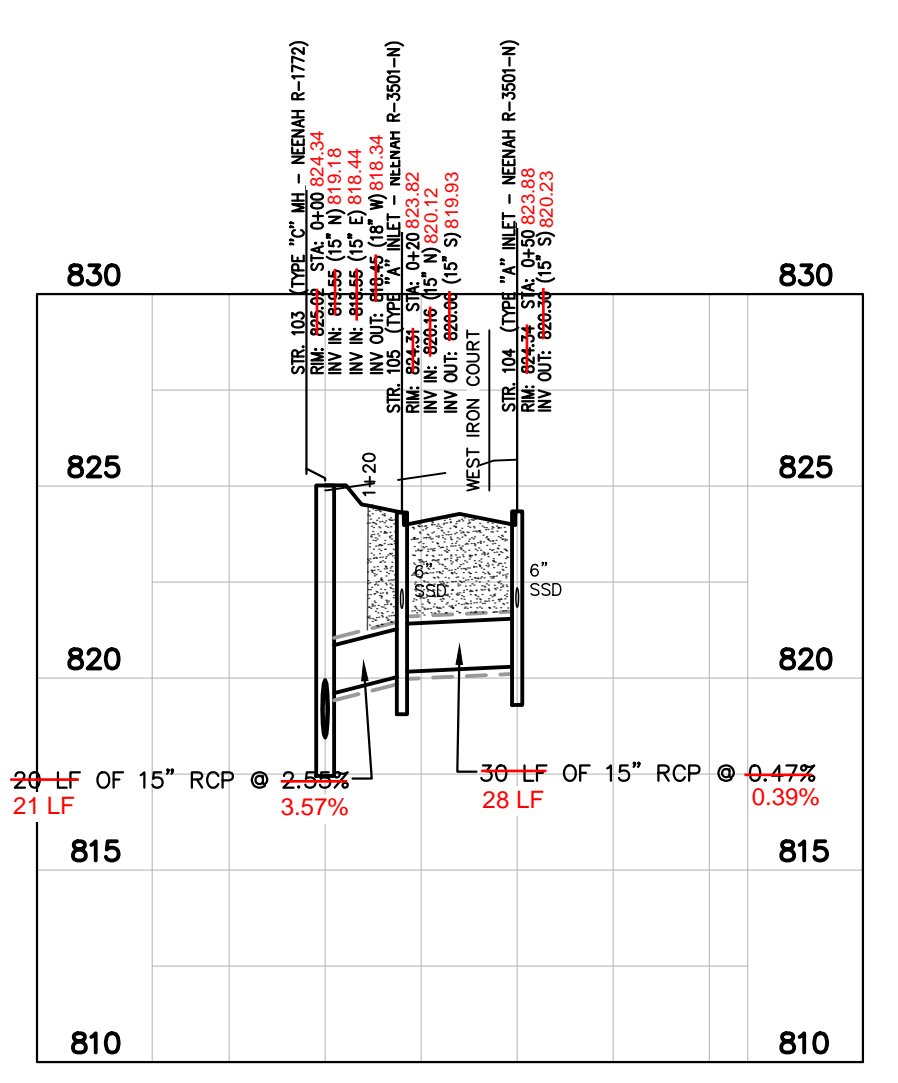
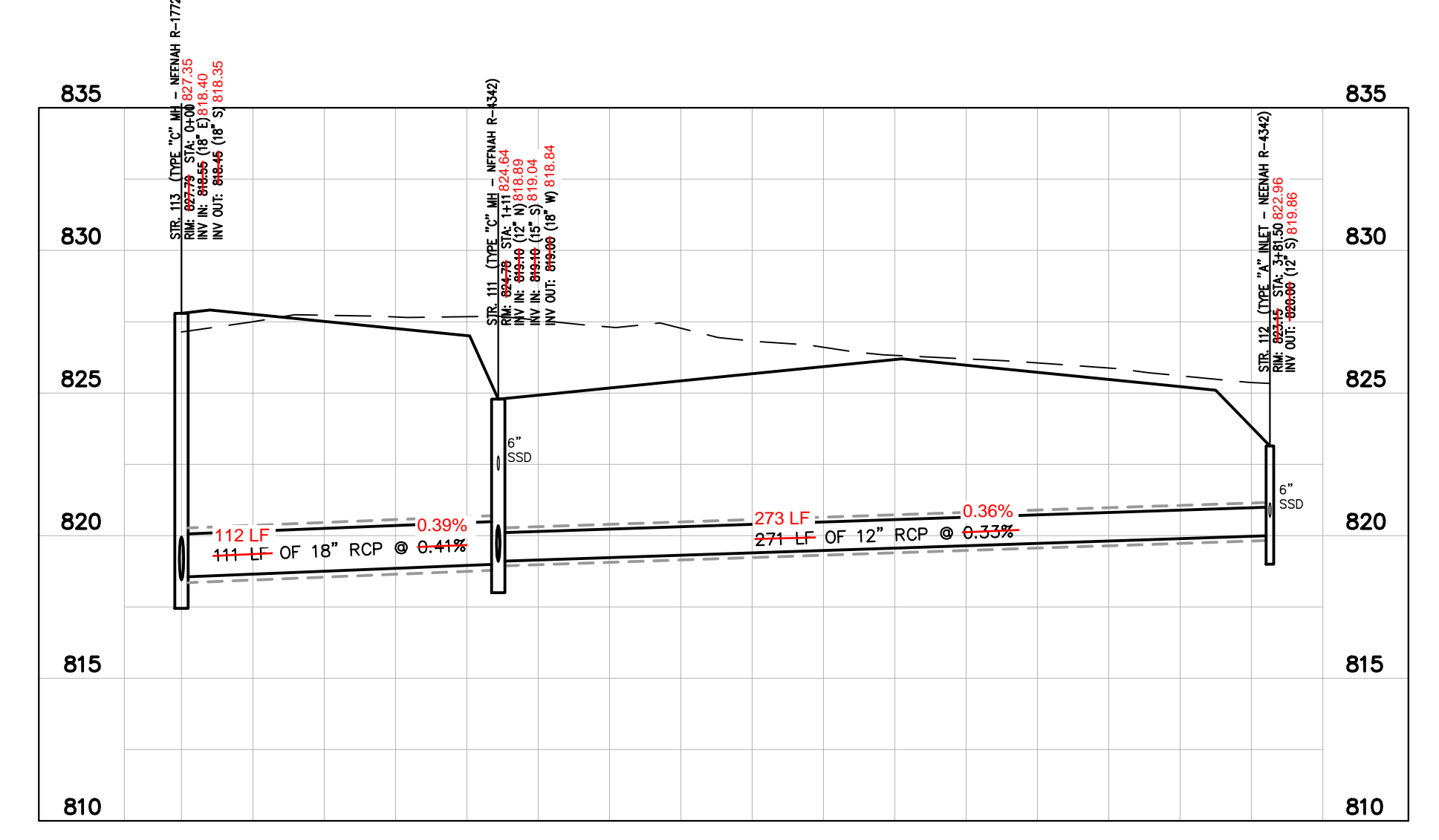
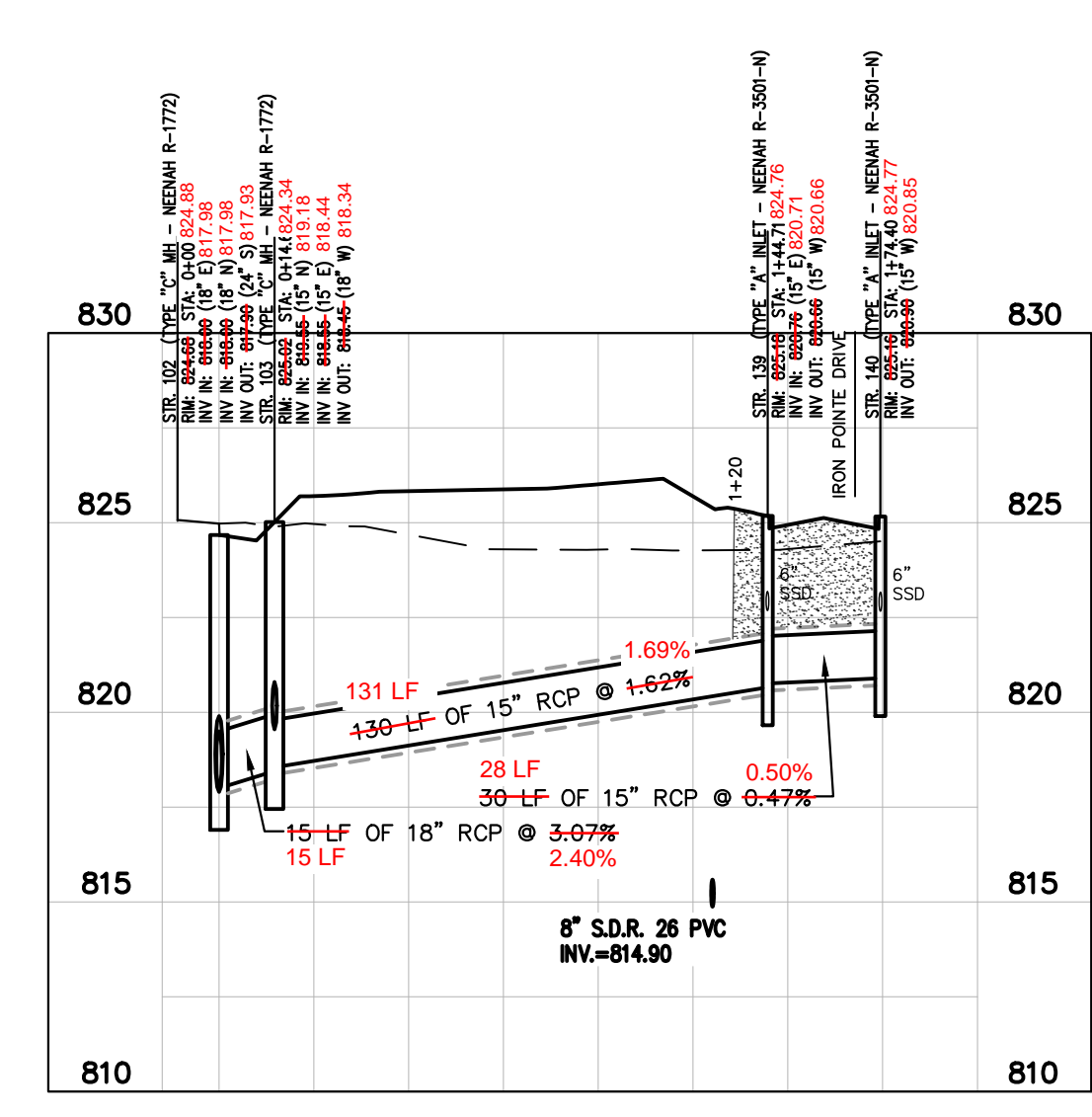
- PROPOSED STORM STRUCTURE
- PROPOSED SANITARY MANHOLE
- PROPOSED FIRE HYDRANT ASSEMBLY
- EXISTING CONTOUR
- EXISTING SANITARY SEWER
- EXISTING STORM SEWER
- PROPOSED SANITARY SEWER
- PROPOSED STORM SEWER
- PROPOSED WATER LINE
- PROPOSED SWALE
- PROPOSED 5' SIDEWALK (BY HOME BUILDER)
(DEVELOPER SHALL INSTALL SIDEWALKS ALONG ALL COMMON AREAS)

PROFILE LEGEND

- EXISTING GRADE
- PROPOSED GRADE
- FULL DEPTH GRANULAR BACKFILL

NOTE

1. SEE SHEET C600 FOR STORM SEWER NOTES.



DESIGNED BY: JSM	DESIGNED BY: JSM	DESIGNED BY: JSM	DESIGNED BY: JSM
DRAWN BY: JRG	DRAWN BY: JRG	DRAWN BY: JRG	DRAWN BY: JRG
CHECKED BY: BAH	CHECKED BY: BAH	CHECKED BY: BAH	CHECKED BY: BAH
DATE	DATE	DATE	DATE
NO.	NO.	NO.	NO.
REVISIONS	REVISIONS	REVISIONS	REVISIONS

AS NOTED

SCALE: AS NOTED

DESIGNED BY: JSM

DRAWN BY: JRG

CHECKED BY: BAH

DATE: 6/15/2021

REGISTERED PROFESSIONAL ENGINEER
 No. PE1006045
 STATE OF INDIANA

WILLIAM A. BUTZ, JR.

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 INDIANAPOLIS, IN 46240
 PHONE: 317-912-4129
 EMAIL: Bill.Horn@kimley-horn.com
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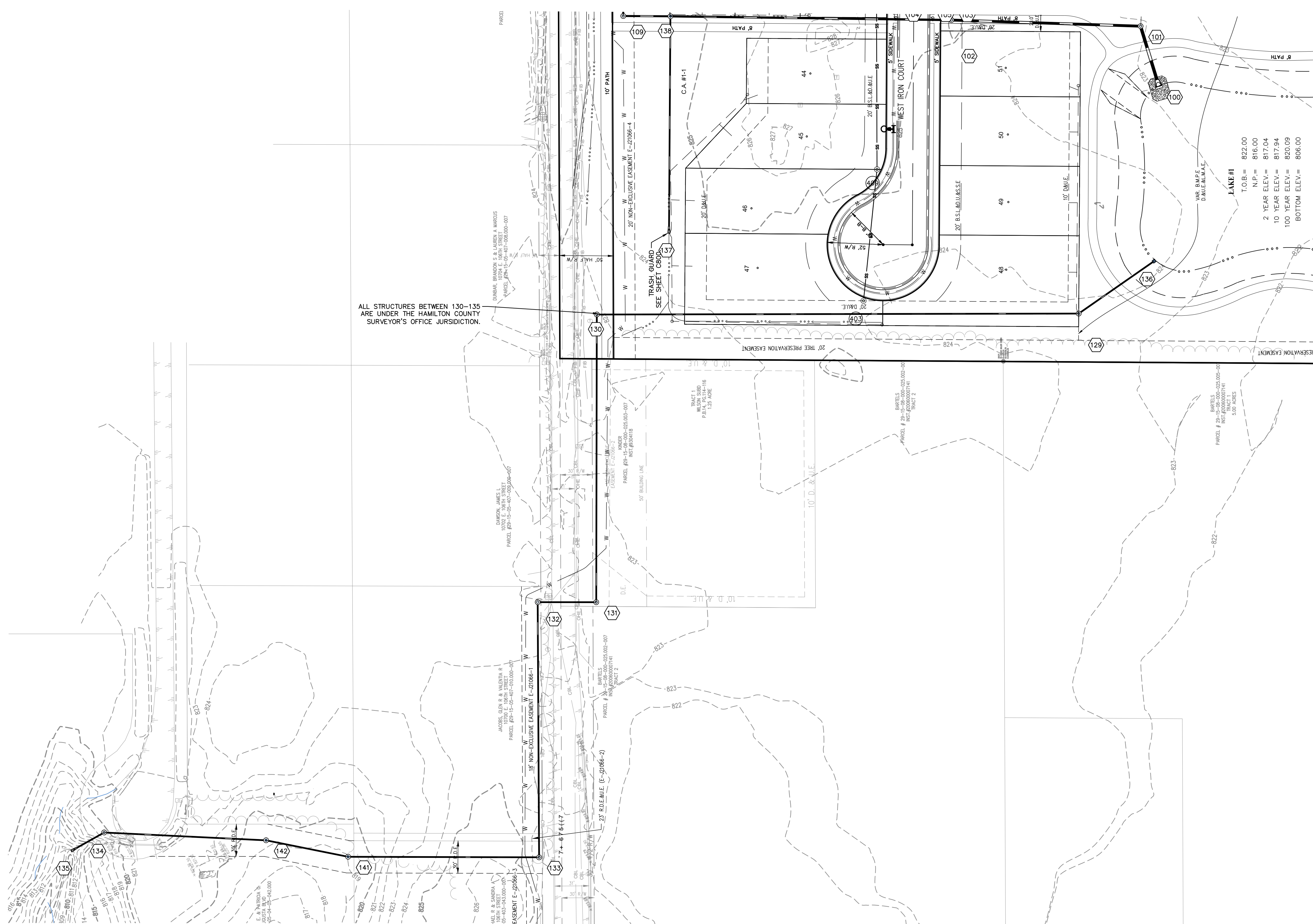
PulteGroup

IRON POINTE SECTION 1 FISHERS, IN

STORM PLAN AND PROFILE

ORIGINAL ISSUE: 05/03/2021
 KHA PROJECT NO. 170140002
 SHEET NUMBER C601

Drawing name: K:\IND_DEV\170140002_Pulte_IronPointe_Fishers_IN\2 Design\CADD\PlanSheets\Storm Plan and Profile.dwg 0602 Jul 20, 2021 2:20pm by LeoSpierHarris
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GRAPHIC SCALE IN FEET
 0 25 50 100

LEGEND

- PROPOSED STORM STRUCTURE
- PROPOSED SANITARY MANHOLE
- PROPOSED FIRE HYDRANT ASSEMBLY
- EXISTING CONTOUR
- EXISTING SANITARY SEWER
- EXISTING STORM SEWER
- PROPOSED SANITARY SEWER
- PROPOSED STORM SEWER
- PROPOSED WATER LINE
- PROPOSED SWALE
- PROPOSED 5' SIDEWALK (BY HOME BUILDER)
(DEVELOPER SHALL INSTALL SIDEWALKS ALONG ALL COMMON AREAS)

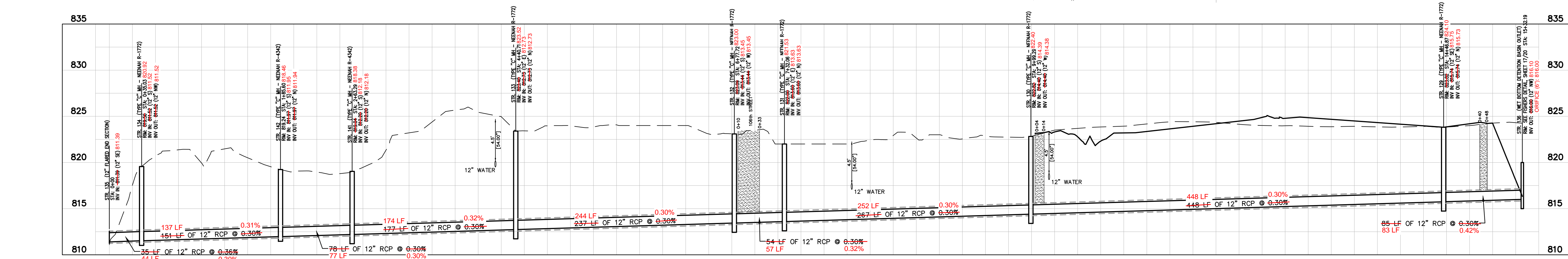
PROFILE LEGEND

- EXISTING GRADE
- PROPOSED GRADE
- FULL DEPTH GRANULAR BACKFILL

NOTE

1. SEE SHEET C600 FOR STORM SEWER NOTES.

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DRAWN BY: JRG	CHECKED BY: BAH					KHA PROJECT NO. 170140002
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